



CITY OF TEXARKANA
PLANNING & ZONING COMMISSION
AGENDA • JANUARY 4, 2022

City Hall	Regular Meeting	6:00 PM
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220 TEXAS BLVD
 TEXARKANA, TX 75501

Chairperson	Commissioner	Commissioner
Gene Joyce III	James Larkins	George Merrill
Vice Chairperson	Commissioner	Alternate Commissioner
Dianna Patterson Kinsey	Wanda Northam	Mitch Alexander
Commissioner	Commissioner	Alternate Commissioner
Tom Coleman	Casey Boyette	Brad Bailey

I. CALL TO ORDER

II. AGENDA ITEMS

1. S-748: consider Specific Use Permit to allow the location of a single wide HUD code manufactured home on Lot 3, Block 17, Grandview Addition, located at 4007 Findley Street. Franklin D. Coleman, owner.

2. Amendment PD-20-5(GR) for site plan approval on a 2.206-acre tract of land (being Tract 65A) in the John A. Talbot HRS, A-564, located at 5609 Richmond Rd. Don Robertson, owner.

III. STAFF UPDATES

IV. CONSIDER APPROVAL OF MINUTES

1. Consider approval of the Planning and Zoning Commission minutes from December 6, 2021.

V. ADJOURNMENT

VI. P&Z AGENDA ITEMS

This open meeting of a governmental entity is subject to the Texas Open Meetings Act (Chapter 551, Government Code). The "Council Chambers" is the room or property where the Planning and Zoning Commission holds this meeting.

Pursuant to Section 46.035(c), Penal Code (unlawful carrying of handgun by license holder), a license holder commits an offense if the license holder intentionally, knowingly, or recklessly carries a handgun under the authority of Subchapter H, Chapter 411, Government Code, regardless of whether the handgun is concealed or carried in a shoulder or belt holster, in the room or rooms where a meeting of a governmental entity is held and if the meeting is an open meeting subject to Chapter 551, Government Code, and the entity provided notice as required by that chapter.

Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun.

Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.

This meeting is being conducted in accordance with the Americans with Disabilities Act [42 USC 12101 (1991)]. The facility is wheelchair accessible and handicap parking is available. Requests for sign interpretive services are available upon requests received at least 48 hours prior to the meeting. To make arrangements for these services, please call 903.798.3917, Personnel or (TDD) 1.800.RELAY.TX (1.800.735.2989).

City of Texarkana, Texas

Version: A

Update Date: 12/29/2021 1:15 PM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator
Subject: S-748: consider Specific Use Permit to allow the location of a single wide HUD code manufactured home on Lot 3, Block 17, Grandview Addition, located at 4007 Findley Street. Franklin D. Coleman, owner.

Meeting Date: 1/4/2022

Attachments

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)
- c. Floor Plan and Photo (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Completed
12/29/2021 11:07 AM			
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
01/04/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Franklin Coleman, owner, for a Specific Use Permit to allow the location of a single wide HUD code manufactured home as a residence on Lot 3, Block 17, Grandview Addition, located at 4007 Findley Street. The residence shown on the map was demolished and the property is currently vacant land.

The adjacent zoning is Single Family-2 to the north, and Single Family-3 to the south, east, and west. The adjacent land use is vacant land to the north, south and west, and a residence to the east.

The Future Land Use Map designates this property as "Neighborhood Residential".

The City's Zoning Ordinance was amended to comply with the state law in 2002, requiring that all manufactured housing be HUD code building standard. This amendment also stipulated that all HUD code manufactured homes inside the city limits be placed in the Single Family-3 zoning district along with the approval of a Specific Use Permit.

City of Texarkana, Texas

Staff recommends for approval of this request with the following stipulations:

1. That one 2020 or newer single wide HUD code manufactured home be allowed on this property.
2. That the single wide HUD code manufactured home be tied down/skirted/underpinned.
3. That the single wide HUD code manufactured home be used for dwelling purposes only, human occupancy only.
4. That the Specific Use Permit be in effect for a period of three (3) years, beginning at the date of this Ordinance. It is the owner's responsibility to renew this permit.
5. That if the HUD code manufactured home is not placed on the property within the three (3) year period, the Specific Use Permit will automatically be revoked.
6. That all driveways, parking, building codes/setbacks, engineered foundation, platting and flood plain requirements must be in accordance with the City of Texarkana, Texas codes.

All notification and application requirements have been met to consider this request.

Potential Options:

None

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of this request with stipulations.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

January 4, 2022

NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: Tuesday, January 4, 2022 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: Monday, February 14, 2022 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: Franklin D. Coleman, owner

OWNER'S ADDRESS: 4007 Findley Street, Texarkana, Texas 75501

LOCATION OF REZONING: 4007 Findley Street, Texarkana, Texas 75501

PROPOSED CHANGE: Specific Use Permit to allow the location of a single wide HUD code manufactured home

LEGAL DESCRIPTION: Lot 3, Block 17, Grandview Addition

CASE NUMBER: S-748

DATE MAILED: December 21, 2021



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 21-01497

Case S-748

Date 10-4-21

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property.

Lot: 3 Block: 170.11 Addition: GRAND VIEW
(Or see attached legal description)

Location: TEXARKANA TEX. 4007 Findley St

Present Zoning: SF-3

Requested: Specific Use Permit

The requested Specific Use Permit will be used for the following:

TO PUT NEW SINGLE WIDE MOBILE HOME
ON PROPERTY.

Describe the changed conditions, if any, that have occurred which affects your property and justifies this Specific Use Permit:

LAST HOME ON THE PROPERTY WAS DEMOLISH
APRIL 13, 2021

Attorney or Agent Signature

Address

City, State, Zip

Home Phone & Cell Phone

Email address

Franklin D. Coleman
Property Owner Signature

4007 FINDLY ST.
Address

TEXARKANA TX 75501
City, State, Zip

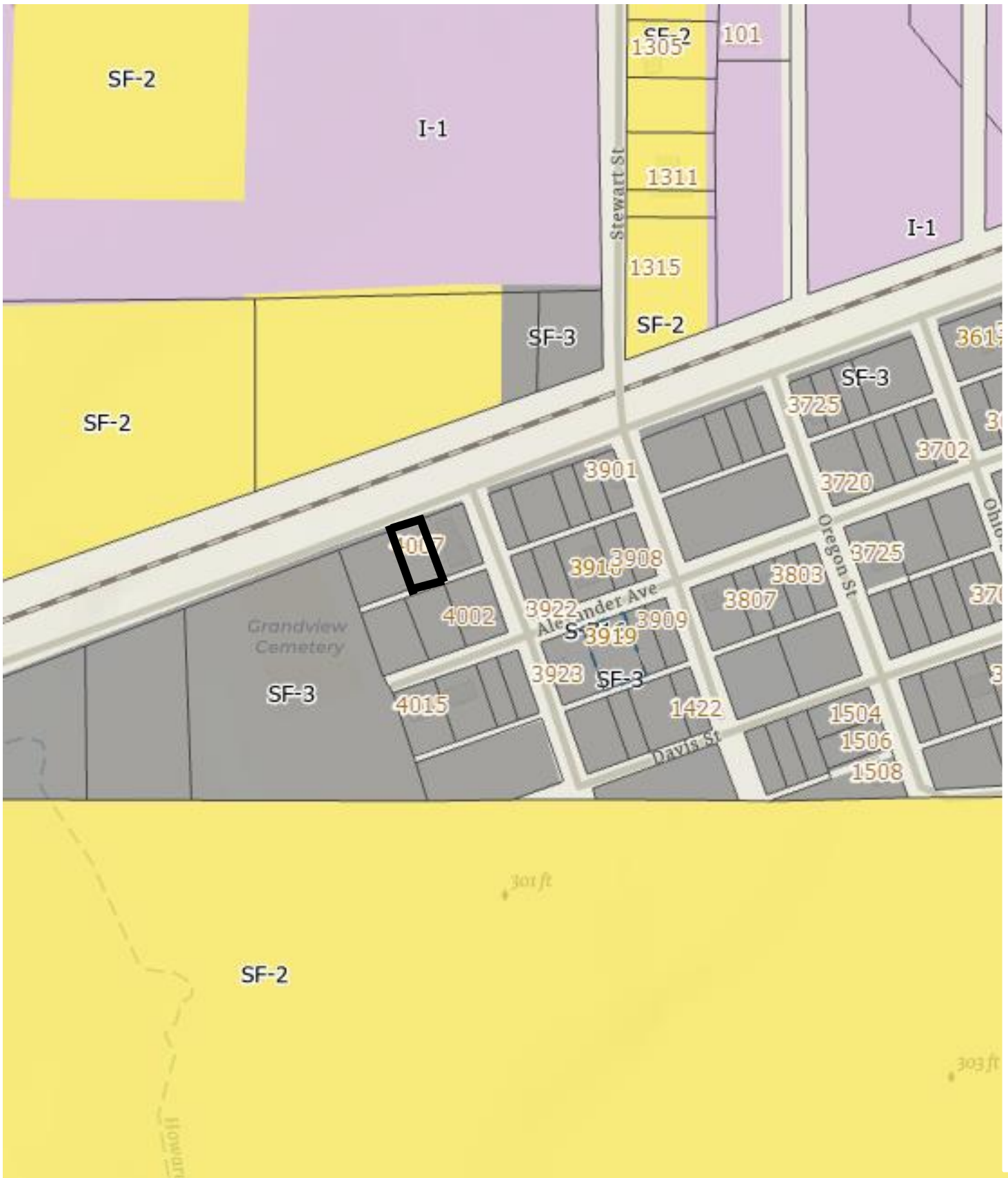
903-244-5836
Home Phone & Cell Phone

Email address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (3614 : S-748: SUP for HUD code manufactured home at 4007 Findley St)

4007 Findley Street



Attachment: Maps (3614 : S-748: SUP for HUD code manufactured home at 4007 Findley St)

4007 Findley Street



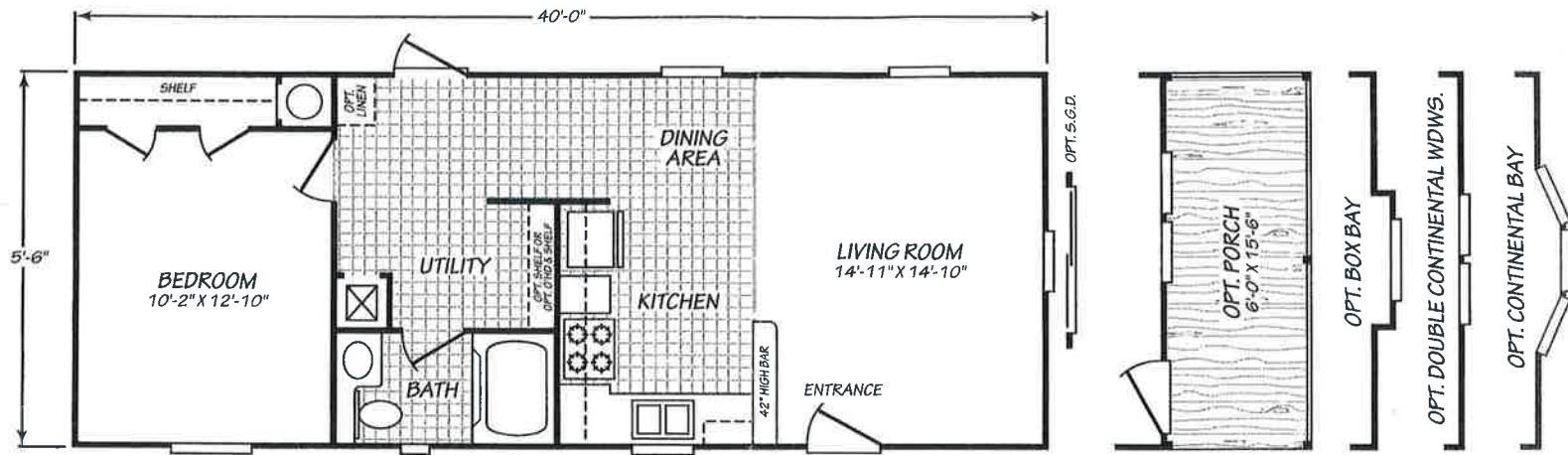
Attachment: Maps (3614 : S-748: SUP for HUD code manufactured home at 4007 Findley St)



WESTON

www.fleetwoodhomes.com

S-748



MODEL 16401X

1 Bedroom • 1 Bath • 620 Square Feet

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WE 240/APR20
PEB APPROVAL 5/16/19



City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 12/29/2021 9:40 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator
Subject: Amendment PD-20-5(GR) for site plan approval on a 2.206-acre tract of land (being Tract 65A) in the John A. Talbot HRS, A-564, located at 5609 Richmond Rd. Don Robertson, owner.

Meeting Date: 1/4/2022

Attachments

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Maps (PDF)
- d. Site Plan (PDF)
- e. Elevations (PDF)
- f. Signs (PDF)
- g. 11-09-2020 Site Plan attached to ORD2020-123 (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Completed
12/29/2021 11:07 AM			
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
01/04/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request for site plan approval by Don Robertson, owner, requesting a site plan approval on a 2.206-acre tract of land in the John A. Talbot HRS, A-564, located at 5609 Richmond Road. This property was previously vacant land.

The adjacent zoning is Single Family-1 north, office to the west, Planned Development-General Retail to the south and general retail to the east. The adjacent land use is vacant land to the north and west, office to the south and retail and office to the east.

This application was previously presented before the Planning and Zoning Commission by Kirk Patton and Don Robertson on October 5, 2020 and was approved with the following stipulations as well as the attached site plan:

1. Construction of a new 3,320 sq. ft. building.

City of Texarkana, Texas

2. Façade will be painted CMU block.
3. Access will be from Richmond Road and will require TXDOT approval.
4. A cross access agreement is recommended.
5. 22 vacuuming parking spaces including one (1) handicapped space and 3 employee parking spaces.
6. A monument style sign not to exceed 96 sq. ft. in overall size to be located at the entrance off Richmond Road. No CEVMS.
7. A 73.42 sq. ft. wall sign on the building.

The contractor on behalf of Don Robertson was issued a building permit on May 13, 2021. During the permitting process a different set of plans was provided to the City of Texarkana, Texas Inspections Department. Therefore, a new request for site plan approval has been submitted for approval with the following stipulations:

1. Construction of a new 3,320 sq. ft. building.
2. Façade will be painted CMU block.
3. Access will be from Richmond Road and will require TXDOT approval.
4. A cross access agreement is recommended.
5. 20 vacuuming parking spaces including one (1) handicapped space and 3 employee parking spaces.
6. A monument style sign not to exceed 96 sq. ft. in overall size to be located at the entrance off Richmond Road. No CEVMS.
7. A 73.42 sq. ft. wall sign on the building.

Site plan approvals are attached to City Ordinances for record. Since the building location was moved, approval by the Planning and Zoning Commission is required. Staff recommends for approval of the site plan.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

None

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval with stipulations

Advisory Board/Committee Review:

Planning and Zoning Commission

City of Texarkana, Texas**Board/Committee Recommendation:**

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

January 4, 2022

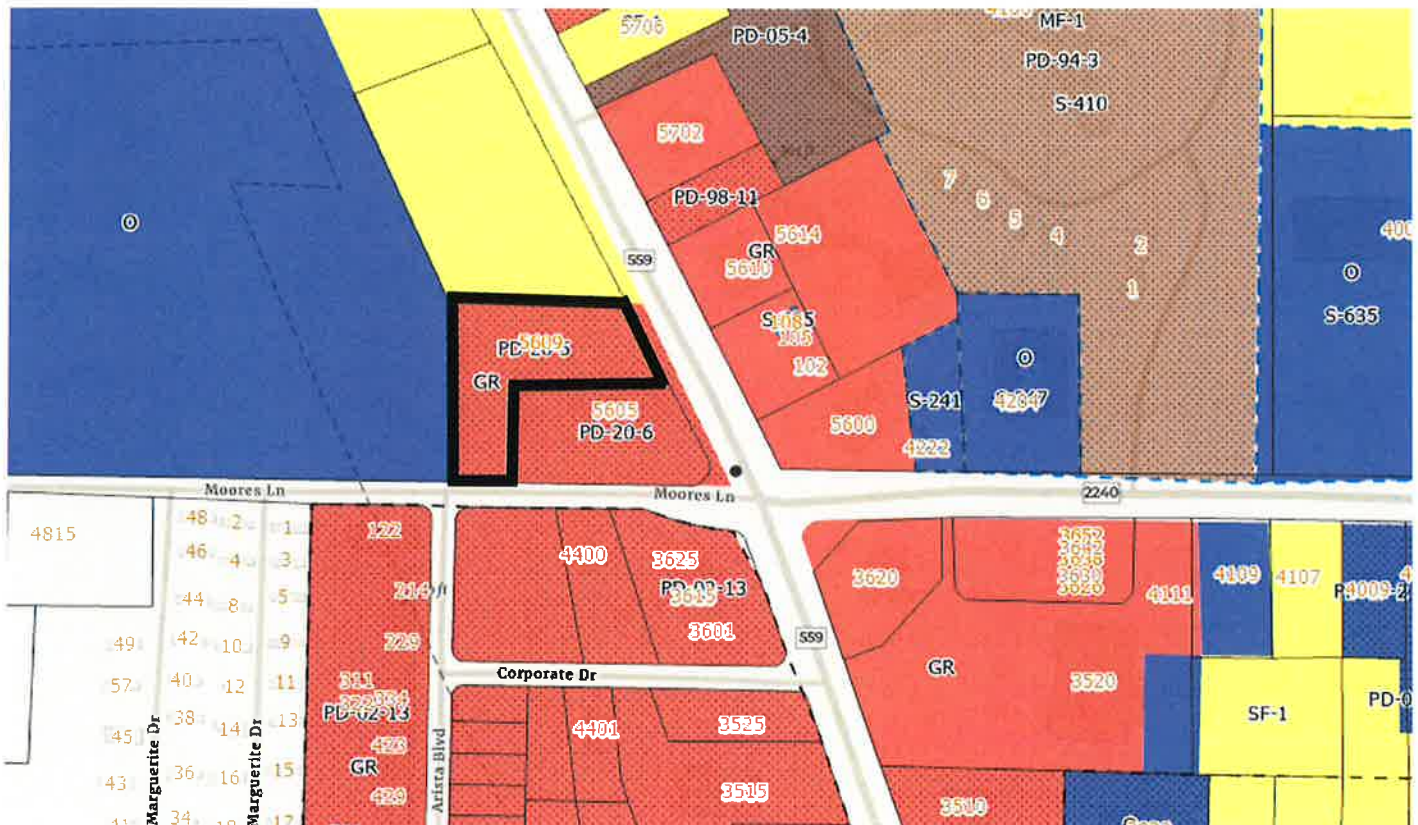
NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: TUESDAY, JANUARY 4, 2022 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, FEBRUARY 14, 2022 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).





SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 21-01973 Case Amend PD-20-5 Date 12-14-2021

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property:

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: _____ Block: _____ Addition: _____
(Or see attached metes and bounds legal description) - SEE ATTACHED LOT

Project location/address: 5609 RICHMOND ROAD, TEXARKANA, TX

Present zoning: PD 20-5 GR Proposed zoning (if applicable) _____

Proposed use: Semi-Automatic Tunnel Carwash

Total square footage of proposed building: 3320 SF Number of parking spaces 20 Vac + 4 Bva

Number of required parking spaces per Ordinance 3 Handicapped spaces 1

Material of building façade CMU Block

SIGNAGE: Type (i.e. monument, pole) MONUMENT

Size 58.22 SF - SEE ATTACHED

Material to be used for structure (if monument style) ENCLOSED STEEL FRAME

Don Robertson
Attorney or Agent Signature

1605 NORTH SERVICE Rd
Address

Ruston, Louisiana 71270
City, State, Zip

318-547-2692
Home Phone & Cell Phone

don.robertson1@jim.taylorford.com
Email Address

Property Owner Signature

Address

City, State, Zip

Home Phone & Cell Phone

Email Address

**BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN
ON YOUR PROPERTY**

Attachment: Hearing Notice and Application (3616 : Amendment PD-20-5(GR) site plan approval at 5609 Richmond Rd)

PD-20-5 (GR)

Property Description
2.206 Acres
Bowie County, Texas

All that certain lot, tract or parcel of land lying and situated in the John A. Talbot Headright Survey, Abstract 584, Bowie County, Texas, being part of that certain tract of land described as 3.563 acres in the deed from Patton, Haltom, Roberts, McWilliams & Greer, LLP to PHRMG Developers, dated February 21, 2000, recorded in Volume 3221, Page 189 of the Real Property Records of Bowie County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch steel rod (control monument), capped LONNIE PACE - PLS 1573 TX, found for a corner, the Northeast corner of the said 3.563 acre tract, lying in the South line of that certain tract of land described as 58.95 acres in the deed from Regions Bank, f/k/a The State First National Bank of Texarkana, to Martha Louise Arnold Stilwell (1/10th interest), dated July 27, 2011, recorded in Volume 6120, Page 299 of the Real Property Records of Bowie County, Texas, that certain tract of land described as 58.95 acres in the deed from Thomas H. Arnold, as Independent Executor of the estate of Lewis H. Arnold, to Martha Louise Arnold Stilwell (1/10th interest), dated July 21, 2011, recorded in Volume 6120, Page 302 of the Real Property Records of Bowie County, Texas, that certain tract of land described as Tract No. 5, with 58.95 acres in the deed from Josh R. Morriss, Jr. and Martha W. Morriss, to the Josh R. Morriss, Jr. Family Limited Partnership (4/5th interest), dated December 29, 1997, recorded in Volume 2772, Page 166 of the Real Property Records of Bowie County, Texas, same being that certain tract of land described as 58.95 acres in the deed from L. E. Kenney, et ux, to R. M. Morriss, Sr., et al, dated May 20, 1964, recorded in Volume 440, Page 220 of the Deed Records of Bowie County, Texas, and lying in the West right-of-way line of Farm-to-Market Road 559 (Richmond Road);

THENCE South 30 degrees 15 minutes 43 seconds East (basis of bearings) a distance of 188.16 feet along the East line of the said 3.563 acre tract, and the West right-of-way line of the said Richmond Road to a 1/2 inch steel rod, capped MTG 101011-00, set for a corner;

THENCE South 87 degrees 00 minutes 01 seconds West a distance of 257.20 feet across the said 3.563 acre tract to a 1/2 inch steel rod, capped MTG 101011-00, set for a corner;

THENCE South 02 degrees 59 minutes 59 seconds East a distance of 213.98 feet across and through the said 3.563 acre tract to a 1/2 inch steel rod, capped MTG 101011-00, set for a corner, lying in the South line of the said 3.563 acre tract, and the North right-of-way line of Moores Lane;

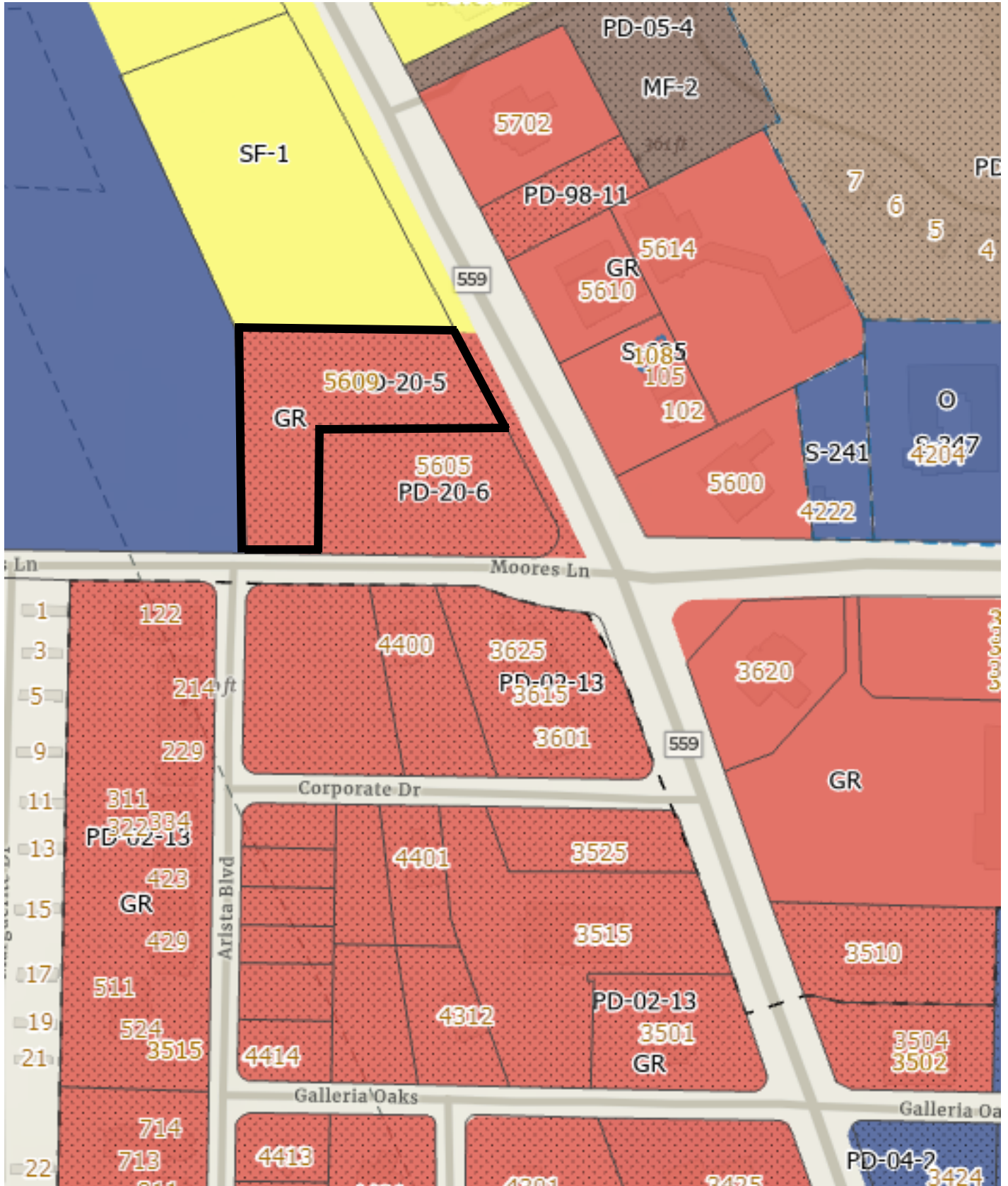
THENCE South 87 degrees 00 minutes 01 seconds West a distance of 127.08 feet along the South line of the said 3.563 acre tract and the North right-of-way line of the said Moores Lane to a 1 inch steel pipe (control monument) found for a corner, the Southwest corner of the said 3.563 acre tract, lying in the East line of the said 58.95 acre tract and the North right-of-way line of the said Moores Lane;

THENCE North 09 degrees 12 minutes 45 seconds West a distance of 406.72 feet along the West line of the said 3.563 acre tract, and the East line of the said 58.95 acre tract to a 1/2 inch steel rod, capped MTG 101011-00, set for a corner, the Northwest corner of the said 3.563 acre tract, and an angle point of the said 58.95 acre tract;

THENCE South 89 degrees 08 minutes 16 seconds East a distance of 342.89 feet along the North line of the said 3.563 acre tract, the South line of the said 58.95 acre tract, and generally along a fence to the point of beginning, and containing 2.206 acres of land at the time of this survey.

Attachment: Legal Description (3616 : Amendment PD-20-5(GR) site plan approval at 5609 Richmond Rd)

5609 Richmond Rd.



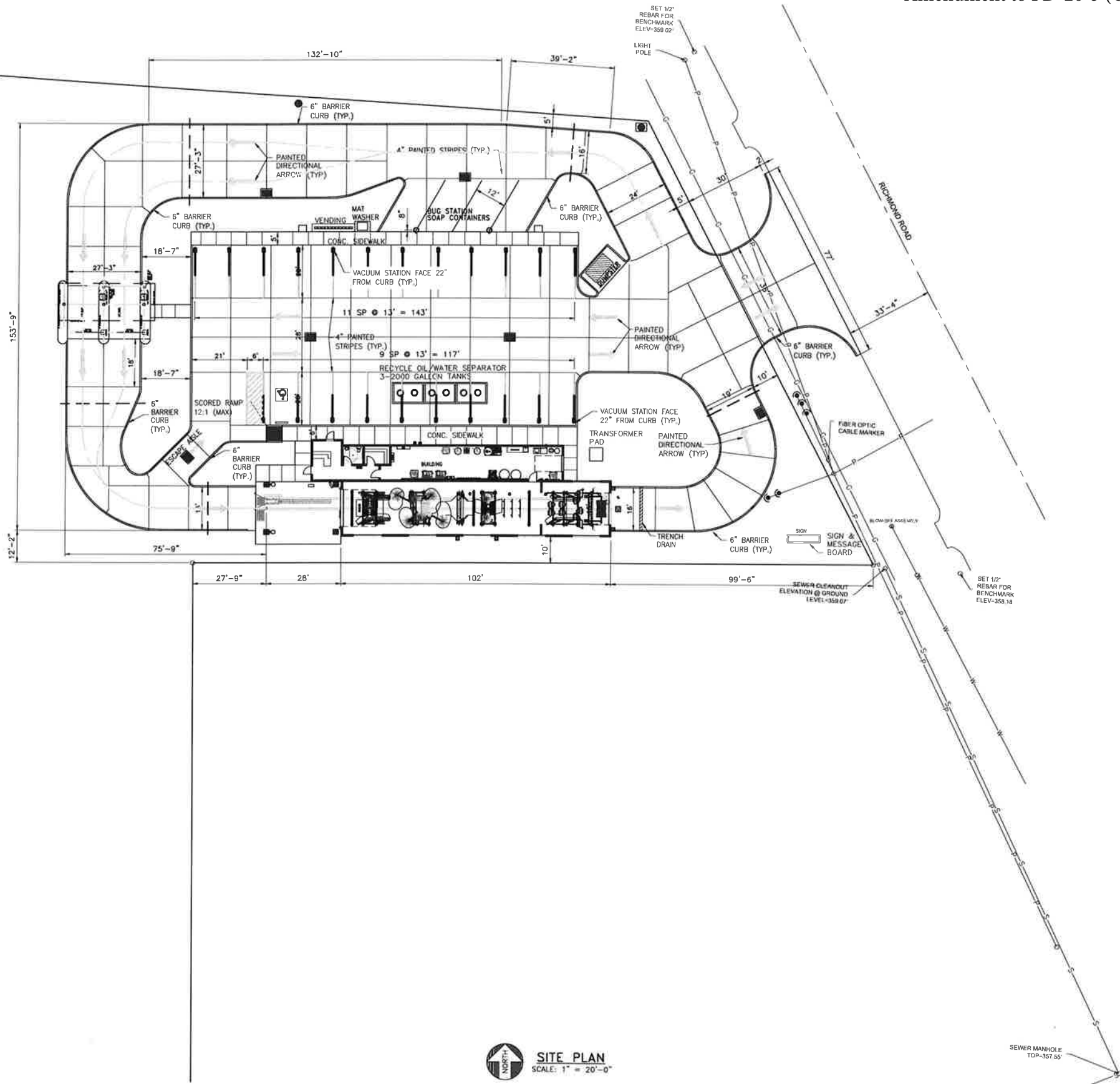
Attachment: Maps (3616 : Amendment PD-20-5(GR) site plan approval at 5609 Richmond Rd)

5609 Richmond Rd.



Attachment: Maps (3616 : Amendment PD-20-5(GR) site plan approval at 5609 Richmond Rd)

Amendment to PD-20-5 (GR)



SITE PLAN
SCALE: 1" = 20'-0"

GENERAL SITE GRADING NOTES:

1. THE FINISHED FLOOR SHALL BE A MINIMUM 2'-0" ABOVE THE EXISTING SITE GRADE AT THE BUILDING.
2. ALL SELECT FILL MATERIAL TO BE FREE OF ORIGINAL MATERIALS AND SHALL BE COMPACTED. SELECT MATERIAL SHALL HAVE A PI < 15 AND SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
3. SITE TO BE GRADED BY CONTRACTOR TO DRAIN AWAY FROM BUILDING.
4. TOP SOIL TO BE STOCKPILED ONSITE AND SPREAD OVER SLOPES UPON COMPLETION OF GRADING.
5. ALL EXCESS EXCAVATED MATERIAL TO BE SPREAD ONSITE IN A MANNER NOT TO BLOCK DRAINAGE PATTERNS AS DIRECT BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
6. ALL DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND FERTILIZED.

FLAG POLE:

THE FLAGPOLE IS TO BE OWNER SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR. FIELD LOCATE PER OWNER'S REPRESENTATIVE DIRECTION.

SIGNAGE NOTES:

THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL INSTALLATION FOR ALL SIGNS INCLUDING PROVIDING CONDUITS AND CONDUCTORS TO EACH SIGN LOCATION - DIRECTIONAL AND ADVERTISEMENT SIGNAGE. THE CONTRACTOR SHALL INSTALL ALL DIRECTIONAL SIGNS, ADVERTISEMENT SIGNS SHALL BE INSTALLED BY SIGN COMPANY BY OWNER. THE CONTRACTOR COORDINATE HIS WORK WITH THE SIGN COMPANY AND THE OWNER'S REPRESENTATIVE.

IRRIGATION NOTES:

THE CONTRACTOR SHALL COORDINATE THE IRRIGATION SYSTEM INSTALLATION AND PROVIDE SIX (6) - 3" PVC CONDUITS EXTENDING 2' PAST THE DRIVEWAY WIDTH. WATER SUPPLY TO BE ROUTED TO THE BUILDING AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IRRIGATION CONTRACTOR.

WATER SUPPLY:

CARWASH WATER SUPPLY SHALL BE 165 GPM @ 40 PSI (MINIMUM).

UTILITY NOTES:

1. CONTRACTOR TO NOTIFY ENGINEER, OWNER'S REPRESENTATIVE, AND THE CITY OF TEXARKANA DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING WORK ON UTILITY INSTALLATION 48 HOURS IN ADVANCE.
2. CONTRACTOR TO LOCATE AND EXPOSE EXISTING UTILITIES FOR INSPECTION. ELEVATIONS ARE TO BE DETERMINED TO INSURE PROPER CONNECTION OF THE NEW FACILITIES.
3. REFER TO ARCHITECTURAL AND EQUIPMENT DRAWINGS FOR UTILITY TIES INSIDE BUILDING, AND COORDINATE ROUTING AS REQUIRED TO INSURE PROPER TIE IN.
4. THE CONTRACTOR SHALL SUPPLY AND INSTALL BACKFLOW PREVENTORS FOR EACH WATER SUPPLY TO THE PROPOSED FACILITY - ONE 1" ASSEMBLY AND ONE 2 1/2" ASSEMBLY. LOCATE PER THE CITY OF TEXARKANA DEPARTMENT OF PUBLIC WORKS AND THE OWNER'S REPRESENTATIVE. EACH SHALL BE A COMPLETE INSTALLATION PER THE TEXAS PLUMBING CODE AND SHALL BE PROVIDED WITH INSULATED FIBERGLASS COVERS TO PREVENT FREEZING.
5. MAINTAIN A MINIMUM OF 36" OF COVER ABOVE ANY EXISTING TEXARKANA WATER UTILITIES MAINS - WATER AND SANITARY SEWER.
6. ALL WATER AND SEWER TAPS ARE TO BE MADE BY A UTILITY CONTRACTOR UNDER THE SUPERVISION OF THE GENERAL CONTRACTOR WITH TWO INSPECTORS ONSITE. ANY MAIN DAMAGED AS THE RESULT OF TAPPING SHALL BE REPAIRED TO THE SATISFACTION OF TEXARKANA WATER UTILITIES AT NO COST TO TWO.

UTILITY WARNING:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES.

UTILITY PROVIDERS

ELECTRICITY	- SWEPDO
NATURAL GAS	- NOT REQUIRED
WATER	- CITY OF TEXARKANA, TEXAS
SANITARY SEWER	- CITY OF TEXARKANA, TEXAS
TELECOMMUNICATIONS	- AT&T

FOUNDATION NOTES:

1. FOUNDATIONS ARE DESIGNED FOR AN ALLOWABLE GROSS BEARING PRESSURE OF 2000 PSF, FOR FOOTING FOUNDED APPROXIMATELY 2 FEET BELOW FINAL GRADE. CONTRACTOR TO VERIFY BEARING CAPACITY OF SOIL.
2. PROTECT PIPES & CONDUITS RUNNING THROUGH WALLS & SLABS WITH 1/2 INCH EXPANSION MATERIAL. LOWER CONTINUOUS FOOTINGS & GRADE BEAMS PERPENDICULAR TO PIPE RUNS TO ALLOW PIPES TO PASS ABOVE THE FOOTINGS OR THROUGH THE GRADE BEAMS. ALTERNATIVELY, PROVIDE A CONCRETE JACKET IF PIPES ARE LOW ENOUGH TO BE PLACED BELOW THE FOOTINGS & GRADE BEAMS. LOWER FOOTINGS & GRADE BEAMS PARALLEL TO PIPE RUNS TO AVOID SURCHARGE ONTO ADJACENT TRENCH EXCAVATIONS.
3. MAINTAIN SUBGRADE & FILL MOISTURE CONTENT UNTIL FOUNDATIONS ARE PLACED PER GEO.
4. ARRANGE FOR OWNER'S INDEPENDENT TESTING AGENCY TO MONITOR CUT & FILL OPERATIONS & PERFORM FIELD DENSITY & MOISTURE CONTENT TESTS TO VERIFY COMPACTION & APPROVE FOOTING SUBGRADES PRIOR TO PLACING CONCRETE.
5. DO NOT PLACE FOOTINGS OR SLABS AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.
6. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES & TO PREVENT PONDING OF SURFACE RUNOFF NEAR THE STRUCTURES.
7. KEEP OPEN EXCAVATIONS AROUND BUILDING PERIMETER DRY. BACK FILL AGAINST FOUNDATIONS & GRADE BEAMS AS SOON AS PRACTICAL. PUMP WATER OUT & DRY OPEN EXCAVATIONS, IF FLOODED PRIOR TO BACKFILLING.

BUILDING PAD PREPARATION NOTES:

1. THE AREAS TO RECEIVE SELECT FILL SHALL BE STRIPPED OF ALL VEGETATION, EXISTING FILL, & SOFT OR DISTURBED SOILS. THE EXCAVATED AREA SHALL BE OBSERVED BY THE SOILS ENGINEER PRIOR TO PLACING DENSITY-CONTROLLED SELECT CLAYEY FILL.
2. ENTIRE SITE SHALL BE PROOF ROLLED WITH FULLY LOADED TANDEM AXLE DUMP TRUCK. ALL AREAS THAT ARE OBSERVED TO RUT OR DEFLECT SHALL BE REMOVED, BACKFILLED WITH SELECT MATERIAL WITH A PI ≤ 15, AND COMPACTED TO 95% DENSITY STD PROCTOR.
3. THE EXPOSED GRADE SHALL BE SCARIFIED TO A DEPTH OF 12 INCHES, MOISTENED TO A CONTENT OF -2 TO +4 PERCENT OF OPTIMUM & RECOMPACTED TO A MINIMUM OF 95% OF THE ASTM D-698.
4. SELECT FILL, CONSISTING OF SOIL APPROVED BY A SOILS ENGINEER, SHALL BE PLACED IN COMPACTED LAYERS WITH SUITABLE COMPACTION EQUIPMENT.
5. ANY TRASH & DEBRIS IN THE EXISTING FILL SHALL BE REMOVED DURING GRADING. ANY IMPORTED FILL SHALL BE OBSERVED BY THE SOILS ENGINEER PRIOR TO USE IN FILL AREAS.
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CONDUCT IN-PLACE DENSITY TESTS AT THE RATE OF ONE TEST PER 2,500 SQUARE FEET FOR EACH LIFT.
CONFIRM SUITABILITY BY ATTERBURG LIMIT TESTS AT THE RATE OF ONE TEST PER 500 CUBIC YDS.
THE SOURCE OF SELECT FILL IS UNKNOWN. ALLOW AT LEAST THREE DAYS FOR PROPER TESTING OF POTENTIAL BORROW AREAS. VERIFY SUITABILITY PRIOR TO PLACEMENT ON SITE.



DAVID LANE BEARD
& ASSOCIATES, INC.

TEXARKANA, TEXAS

DON ROBERTSON

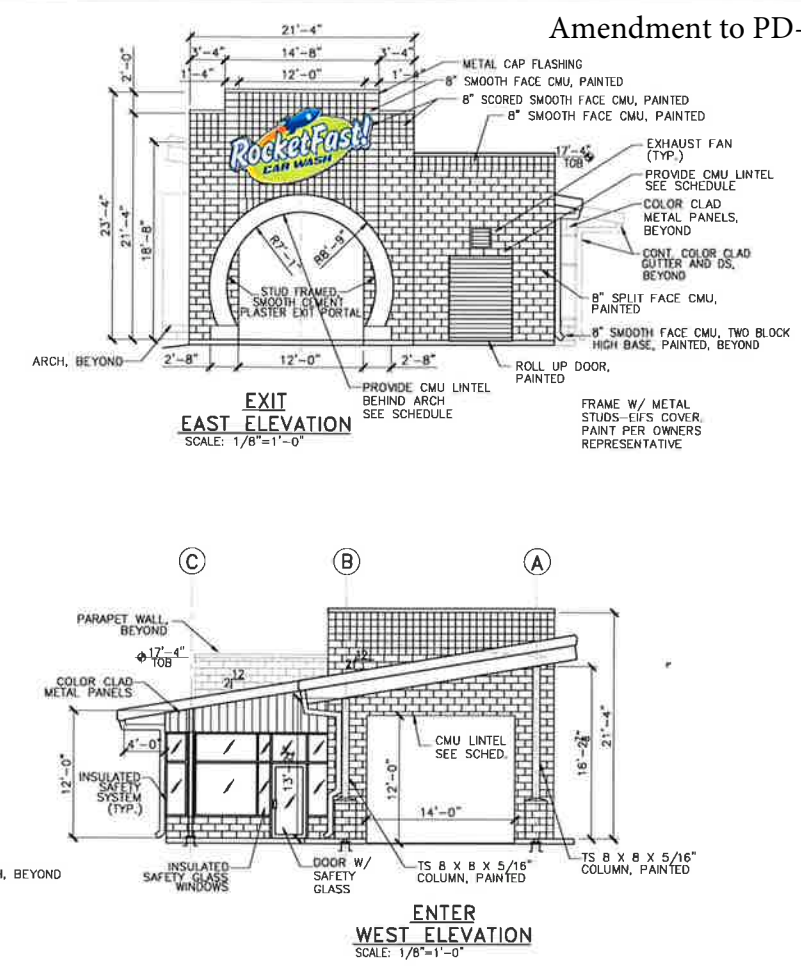
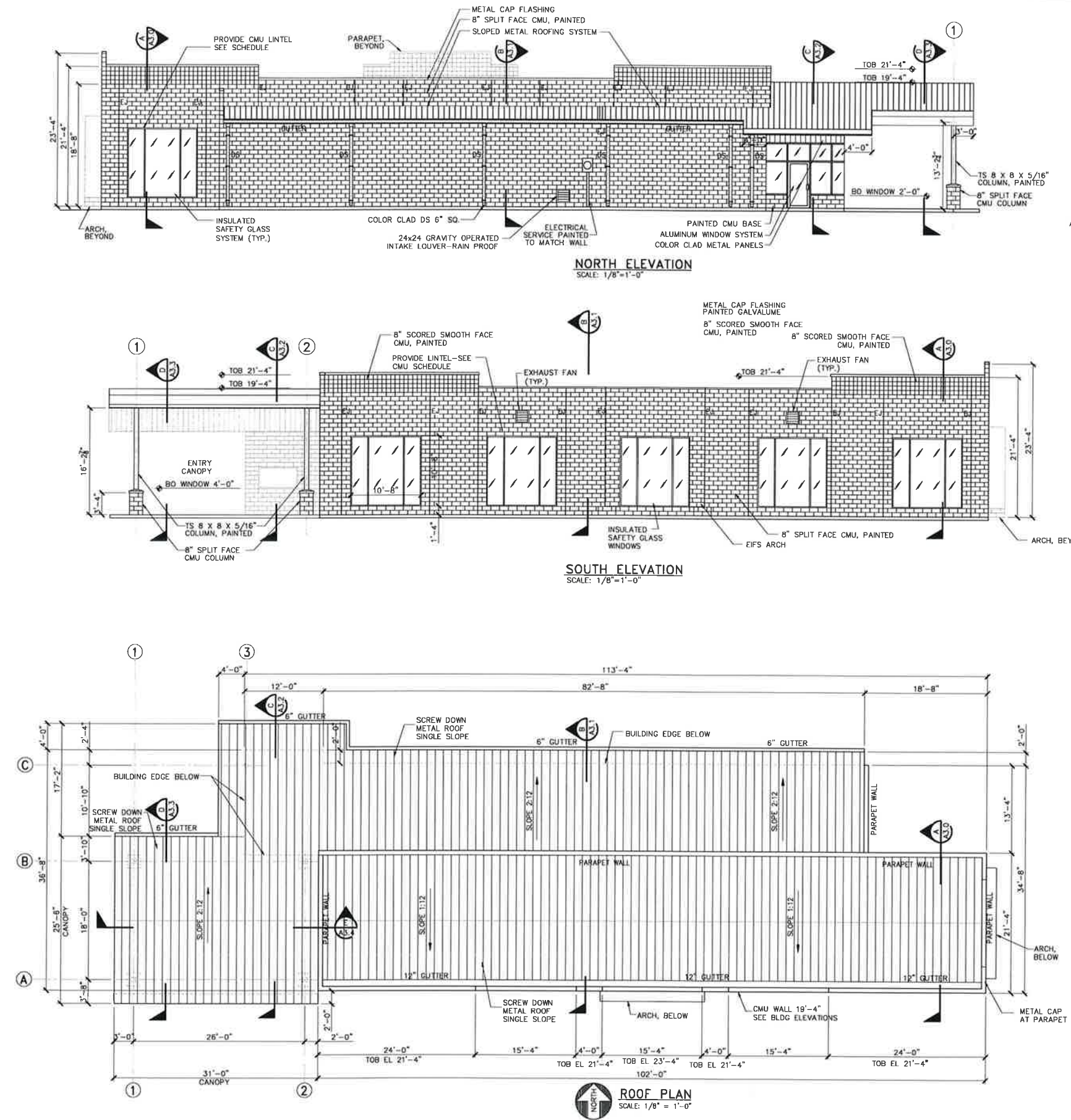
ROCKETFAST CARWASH

SITE PLAN

DATE:
7/27/20

SP1.0

JOB No. 200709



NOTES:
BLOCK FINISHES--
INTERIOR OF WASH BAY: (SEAL ONLY)
BLOCK SEALER TO BE SHERWIN WILLIAMS KEM CATI-COAT HS FULL COVERAGE COAT.
ALL OTHER BLOCK AREAS:
BLOCK FILLER - SHERWIN WILLIAMS PREPRITE BLOCK FILLER, ONE COAT MIN. FULL COVERAGE.
APPLY PER MANUFACTURES SPECIFICATIONS.
FINISH PAINT - SHERWIN WILLIAMS - A400, TWO COAT FULL COVERAGE.
APPLY PER MANUFACTURES SPECIFICATIONS.
FIELD BLOCK TO BE SPLIT FACE AND ALL OTHER BLOCK TO BE SMOOTH, PAINTED.
ROOF, TRIM, DS, FLASHING, ETC, TO BE COLOR CLAD, REGAL BLUE.
STORE FRONT SYSTEM - BRIGHT ALUMINUM FINISH
EXIT PORTAL CURVE TO BE SMOOTH CEMENT PLASTER OVER METAL STUD FRAMING. COLOR BY OWNER.



DAVID LANE BEARD
K ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS PLANNING PROJECT MANAGEMENT
100 COMMERCIAL PARKWAY, WEST MONROE, LOUISIANA 71292 (318) 388-3227
TODAY FROM MON TO FRI

TEXARKANA, TEXAS

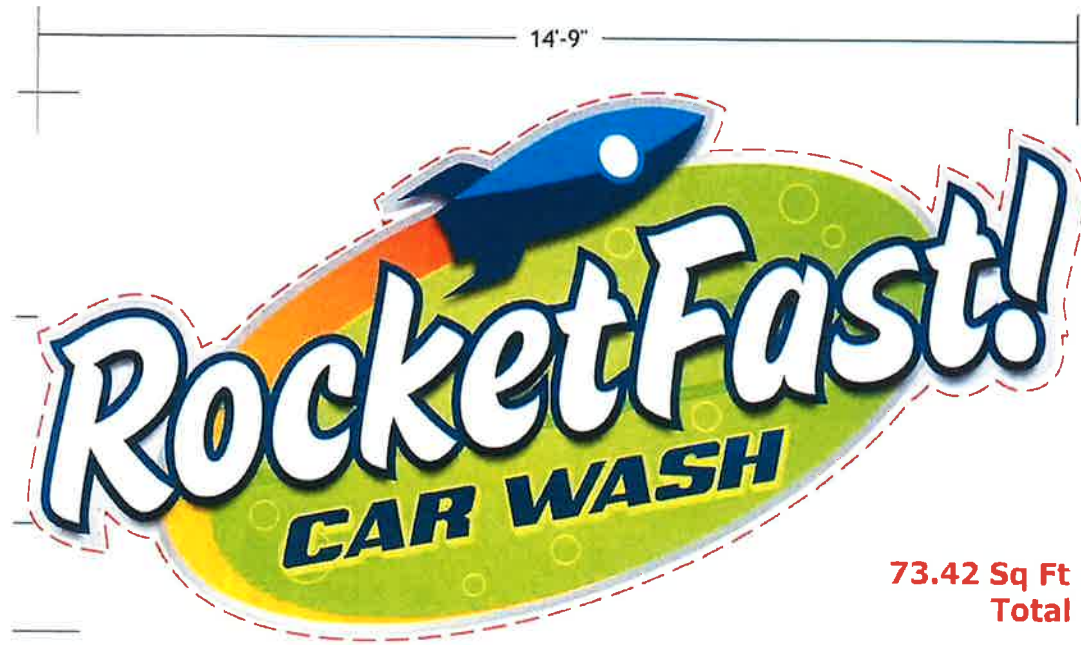
ROCKETFAST CARWASH

EXTERIOR ELEVATIONS

DATE
7/27/20

A2.0

JOB No. 200709



73.42 Sq Ft
Total

tall (1) s/f wall sign as shown above, onto building in customer designated area, as shown in detail right....

ist letters & rocket graphic are aluminum fabricated channels w/ Blue returns, White acrylic (yl decoration on rocket) and internal White LED illumination. Letters are mounted to a Dibond (1 composite outline and stand-off mounted over sign cabinet w/ an aluminum tube frame.

ed portion is an aluminum fabricated cabinet w/ a painted Metallic Silver finish, internal lamp ion and a digitally printed flexible face. This cabinet is flush mounted to wall surface.

ll construction and finish details will be needed along w/ dimension verification prior to any (1 fabrication.

- Aluminum channel rocket w/ Blue returns, 3M vir decorated White acrylic face & int. White LED illi
- Aluminum fabricated channel letters w/ Blue retu 1" Blue trimcap, White acrylic faces & int. White illumination. (3mm Blue Dibond aluminum compo outline backs channel letters)
- Aluminum tube truss supporting channel letters o sign cabinet / painted finish
- Single face aluminum fabricated oval shaped sign w/ a painted Metallic Silver finish, internal fluore lamp illumination and a digitally printed flexible face
- Mounting surface - verify wall construction & fini prior to fabrication



East Ele

1/8"=1'-0"

TED ON THIS PRINT MAY NOT MATCH THE PMS CHIP, VINYL OR PAINT COLORS EXACTLY. It is to be viewed as a color representation only.

GN LITE
Lighting the way to success!
1490 I-10 Service Rd. • Slidell, LA 70461
(0)869-3804 • (985)649-3804 • f:(985)643-3758

Client
Rocket Fast Carwash
Corner of Pierremont Rd.
& Southern Ave.
Shreveport, LA
Project
S/F Wall Sign

Sales Rep.
B Rountree
Date
05/25/2018
Bid No.

Designer
K Snyder
Drawing No. / Pg No.
05747A
Scale
1/2"=1'-0"

120 v electrical unless noted otherwise
Approved by:
Approval date:

NOTES:
1. STRUCTURAL STEEL WILL BE ASTM A36.
2. STEEL LESS THAN 1/4" THICK WILL BE GALVANIZED.
3. ALL STRUCTURAL STEEL TO BE PAINTED W/ TWO COATS OF RUST INHIBITING PAINT UNLESS GALVANIZED.
4. ALL CONNECTIONS WILL BE 1/2" DIAMETER BOLTS UNLESS NOTED.
5. PLASTIC SIGN FACES TO BE FORMED ON GLOW BURNING MATERIALS.
6. COMPLETED SIGN WILL BEAR U.L. LABEL.
7. SIGN WILL BE LOCATED A MINIMUM OF 6" FROM BACK OF CURB.
8. BOTTOM OF SIGN WILL BE LOCATED A MINIMUM OF 9" ABOVE GRADE.
9. SIGN WILL BE FABRICATED & INSTALLED TO WITH STAND A MIN. WIND-LOAD OF 130 M.P.H. @ 3 SEC. GUSTS IN ACCORDANCE W/ 2009 I.B.C.

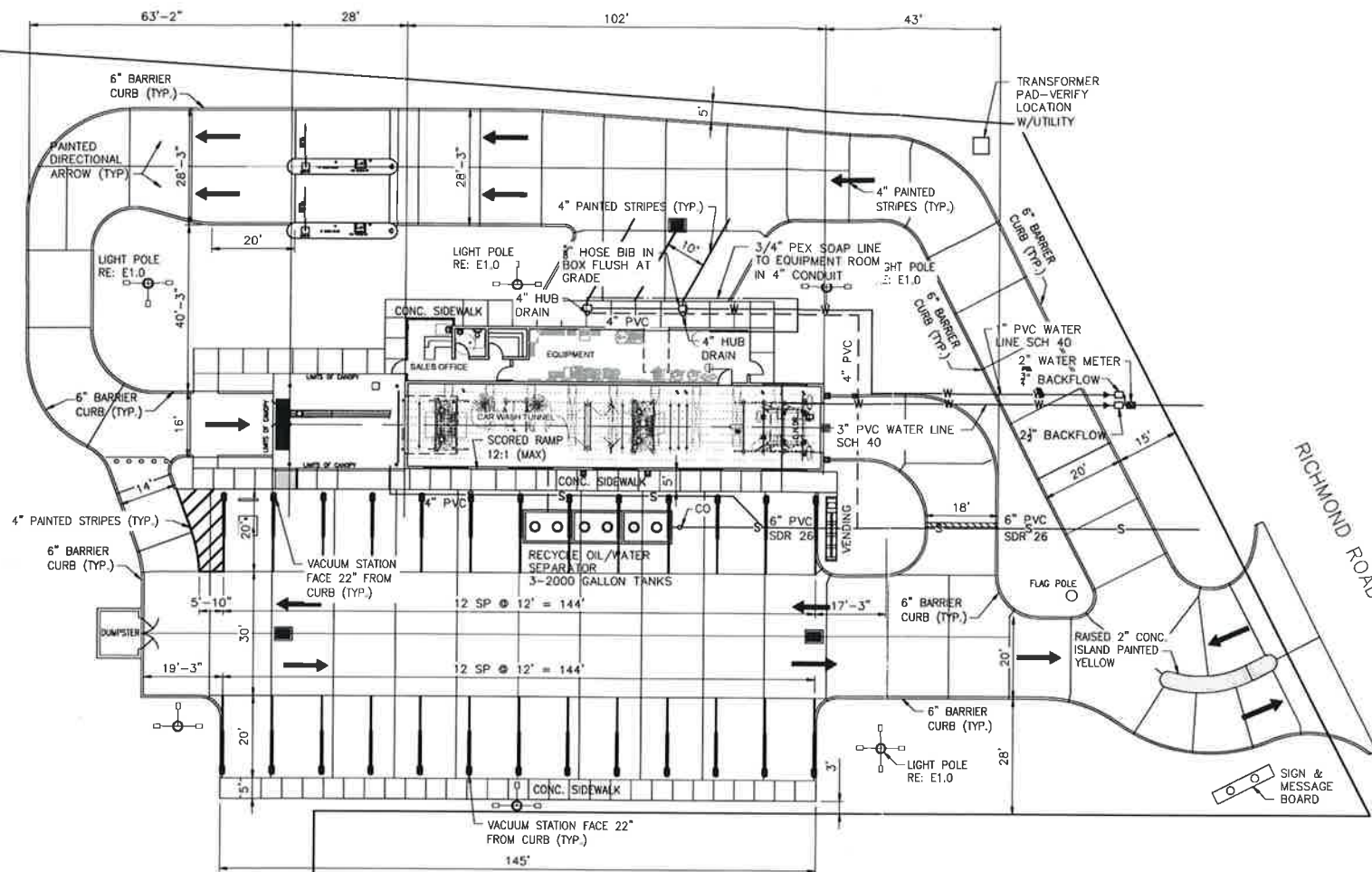
THESE PLANS
HAVE BEEN P
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ADMINIST

ot Duplicate. This concept and artwork is the exclusive property of Sign Lite, and is for the sole purpose of viewing by recipient. It is not to be released to outside parties. If no contact is initiated with Sign Lite, this concept and artwork duplication and/or copying of these drawings in part or whole is prohibited. Any violation of these terms will result in penalties and prosecution under current copyright laws and/or be subject to full reimbursement of any and all associated design and production fees.

www.signlite.com • i



RocketFast Carwash		Customer Approval	Notes:	 All electrical components will be UL approved, all wiring will comply with UL & NEC requirements. Signs will bear the UL mark. All signs will be engineered to meet or exceed local wind load requirements.	 Main Office 3501 Stoneledge Dr. Texarkana, TX 75503 903 280 7849 WHITESIGN.com
File:	Rocket Fast Texarkana	Change As Noted	This is an original, unaltered drawing. It is not to be reproduced, copied, or edited in any fashion without written permission from White Sign Company. This drawing may contain copyrighted designs that are the property of White Sign Company. All other designs herein are the property of White Sign Company. © Copyright 2021		
Date:	7-21-21				
Customer:	Rocket Fast				
Location:	Texarkana TX				



GENERAL SITE GRADING NOTES:

1. THE FINISHED FLOOR SHALL BE A MINIMUM 2'-0" ABOVE THE EXISTING SITE GRADE AT THE BUILDING.
2. ALL SELECT FILL MATERIAL TO BE FREE OF ORIGINAL MATERIALS AND SHALL BE COMPACTED. SELECT MATERIAL SHALL HAVE A PI < 15 AND SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
3. SITE TO BE GRADED BY CONTRACTOR TO DRAIN AWAY FROM BUILDING.
4. TOP SOIL TO BE STOCKPILED ONSITE AND SPREAD OVER SLOPES UPON COMPLETION OF GRADING.
5. ALL EXCESS EXCAVATED MATERIAL TO BE SPREAD ONSITE IN A MANNER NOT TO BLOCK DRAINAGE PATTERNS AS DIRECT BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
6. ALL DISTURBED AREAS OF THE SITE SHALL BE SEEDED AND FERTILIZED.

FLAG POLE:

THE FLAGPOLE IS TO BE OWNER SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR. FIELD LOCATE PER OWNER'S REPRESENTATIVE DIRECTION.

SIGNAGE NOTES:

THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL INSTALLATION FOR ALL SIGNS INCLUDING PROVIDING CONDUITS AND CONDUCTORS TO EACH SIGN LOCATION - DIRECTIONAL AND ADVERTISEMENT SIGNAGE. THE CONTRACTOR SHALL INSTALL ALL DIRECTIONAL SIGNS, ADVERTISEMENT SIGNS SHALL BE INSTALLED BY SIGN COMPANY BY OWNER. THE CONTRACTOR COORDINATE HIS WORK WITH THE SIGN COMPANY AND THE OWNER'S REPRESENTATIVE.

IRRIGATION NOTES:

THE CONTRACTOR SHALL COORDINATE THE IRRIGATION SYSTEM INSTALLATION AND PROVIDE SIX (6) - 3" PVC CONDUITS EXTENDING 2' PAST THE DRIVEWAY WIDTH. WATER SUPPLY TO BE ROUTED TO THE BUILDING AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND IRRIGATION CONTRACTOR.

WATER SUPPLY:

CARWASH WATER SUPPLY SHALL BE 165 GPM @ 40 PSI (MINIMUM).

UTILITY NOTES:

1. CONTRACTOR TO NOTIFY ENGINEER, OWNER'S REPRESENTATIVE, AND THE CITY OF TEXARKANA DEPARTMENT OF PUBLIC WORKS PRIOR TO COMMENCING WORK ON UTILITY INSTALLATION 48 HOURS IN ADVANCE.
2. CONTRACTOR TO LOCATE AND EXPOSE EXISTING UTILITIES FOR INSPECTION. ELEVATIONS ARE TO BE DETERMINED TO INSURE PROPER CONNECTION OF THE NEW FACILITIES.
3. REFER TO ARCHITECTURAL AND EQUIPMENT DRAWINGS FOR UTILITY TIES INSIDE BUILDING, AND COORDINATE ROUTING AS REQUIRED TO INSURE PROPER TIE IN.
4. THE CONTRACTOR SHALL SUPPLY AND INSTALL BACKFLOW PREVENTORS FOR EACH WATER SUPPLY TO THE PROPOSED FACILITY - ONE 1" ASSEMBLY AND ONE 2 1/2" ASSEMBLY. LOCATE PER THE CITY OF TEXARKANA DEPARTMENT OF PUBLIC WORKS AND THE OWNER'S REPRESENTATIVE. EACH SHALL BE A COMPLETE INSTALLATION PER THE TEXAS PLUMBING CODE AND SHALL BE PROVIDED WITH INSULATED FIBERGLASS COVERS TO PREVENT FREEZING.

UTILITY WARNING:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR/ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR/ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR/ENGINEER HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES.

FOUNDATION NOTES:

1. FOUNDATIONS ARE DESIGNED FOR AN ALLOWABLE GROSS BEARING PRESSURE OF 2000 PSF, FOR FOOTING FOUNDED APPROXIMATELY 2 FEET BELOW FINAL GRADE. CONTRACTOR TO VERIFY BEARING CAPACITY OF SOIL.
2. PROTECT PIPES & CONDUITS RUNNING THROUGH WALLS & SLABS WITH 1/2 INCH EXPANSION MATERIAL. LOWER CONTINUOUS FOOTINGS & GRADE BEAMS PERPENDICULAR TO PIPE RUNS TO ALLOW PIPES TO PASS ABOVE THE FOOTINGS OR THROUGH THE GRADE BEAMS. ALTERNATIVELY, PROVIDE A CONCRETE JACKET IF PIPES ARE LOW ENOUGH TO BE PLACED BELOW THE FOOTINGS & GRADE BEAMS. LOWER FOOTINGS & GRADE BEAMS PARALLEL TO PIPE RUNS TO AVOID SURCHARGE ONTO ADJACENT TRENCH EXCAVATIONS.
3. MAINTAIN SUBGRADE & FILL MOISTURE CONTENT UNTIL FOUNDATIONS ARE PLACED PER GEO.
4. ARRANGE FOR OWNER'S INDEPENDENT TESTING AGENCY TO MONITOR CUT & FILL OPERATIONS & PERFORM FIELD DENSITY & MOISTURE CONTENT TESTS TO VERIFY COMPACTION & APPROVE FOOTING SUBGRADES PRIOR TO PLACING CONCRETE.
5. DO NOT PLACE FOOTINGS OR SLABS AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.
6. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES & TO PREVENT PONDING OF SURFACE RUNOFF NEAR THE STRUCTURES.
7. KEEP OPEN EXCAVATIONS AROUND BUILDING PERIMETER DRY. BACK FILL AGAINST FOUNDATIONS & GRADE BEAMS AS SOON AS PRACTICAL. PUMP WATER OUT & DRY OPEN EXCAVATIONS, IF FLOODED PRIOR TO BACKFILLING.

BUILDING PAD PREPARATION NOTES:

1. THE AREAS TO RECEIVE SELECT FILL SHALL BE STRIPPED OF ALL VEGETATION, EXISTING FILL, & SOFT OR DISTURBED SOILS. THE EXCAVATED AREA SHALL BE OBSERVED BY THE SOILS ENGINEER PRIOR TO PLACING DENSITY-CONTROLLED SELECT CLAYEY FILL.
2. ENTIRE SITE SHALL BE PROOF ROLLED WITH FULLY LOADED TANDEM AXLE DUMP TRUCK. ALL AREAS THAT ARE OBSERVED TO RUT OR DEFLECT SHALL BE REMOVED, BACKFILLED WITH SELECT MATERIAL WITH A PI < 15, AND COMPACTED TO 95% DENSITY STD PROCTOR.
3. THE EXPOSED GRADE SHALL BE SCARIFIED TO A DEPTH OF 12 INCHES, MOISTENED TO A CONTENT OF -2 TO +4 PERCENT OF OPTIMUM & RECOMPACTED TO A MINIMUM OF 95% OF THE ASTM D-698.
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THE SOURCE OF SELECT FILL IS UNKNOWN, ALLOW AT LEAST THREE DAYS FOR PROPER TESTING OF POTENTIAL BORROW AREAS. VERIFY SUITABILITY PRIOR TO PLACEMENT ON SITE.

UTILITY PROVIDERS

ELECTRICITY	-	ENTERGY
NATURAL GAS	-	NOT REQUIRED
WATER	-	CITY OF TEXARKANA, TEXAS
SANITARY SEWER	-	CITY OF TEXARKANA, TEXAS
TELECOMMUNICATIONS	-	AT&T

City of Texarkana, Texas

Summary Sheet

Version:
Update Date: 12/29/2021 9:41 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator
Subject: Consider approval of the Planning and Zoning Commission minutes from December 6, 2021.
Meeting Date: 1/4/2022

Attachments

- a. 12-06-2021 P&Z Minutes (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Completed
12/29/2021 11:07 AM			
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
01/04/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

Please see attached minutes from December 6, 2021.

Potential Options:

None

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of the December 6, 2021 Planning and Zoning Commission minutes.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

January 4, 2022

**MINUTES
REGULAR MEETING
PLANNING AND ZONING COMMISSION
COUNCIL CHAMBERS
2ND FLOOR, TEXAS MUNICIPAL BUILDING
220 TEXAS BOULEVARD, TEXARKANA, TEXAS
MONDAY, DECEMBER 6, 2021 AT 12:00 P.M.**

The Planning and Zoning Commission of the City of Texarkana, Texas met in a regular session, Monday, December 6, 2021 at 12:00 p.m. with the following members present:

ATTENDING:

Mr. Gene Joyce III, Chairman
Ms. Dianna Kinsey, Vice Chairperson
Mr. Tom Coleman
Mr. James Larkins
Mr. George Merrill
Dr. Wanda Northam
Mr. Brad Bailey

ABSENT

Mr. Casey Boyette

ALSO ATTENDING:

Ms. Mashell Daniel, Executive Director of Inspections, Code and Zoning
Ms. Laura Puckett, Zoning Administrator

Mr. Joyce called the meeting to order at 12:00 p.m.

Z-21-26: an approximate 0.96-acre tract of land (being 336A/336C) in the George Brinlee HRS, A-18, located at 5302 North Kings Highway from Single Family-1 to Office.

Mr. Satterfield appeared and stated that he owns and proposes to use existing home located at 5302 North Kings Highway for a realty office. He said that the office staff would include his wife and his daughter. He stated that he would use the existing drive and continue parking to the back of the property.

Mr. Satterfield said that his neighbors, Mr. and Mrs. Sisk, were present and in favor of his request for a zoning change. Also present and in favor of Mr. Satterfield's request for zoning change, was Ms. Debbie Jones who lives in the Remington housing addition.

The Commission asked if he would be willing to amend his application to Planned Development for a site plan approval. The applicant agreed to amend his application to Planned Development-Office.

The following stipulations were recommended as follows:

1. 5302 North Kings Highway will be used as a realty office and that no other uses be located at 5302 North Kings Highway until owner/occupant appears before the Planning and Zoning Commission for site plan approval and specifically to uses. More specifically, restricted uses are hotel, motel, country club, fraternity, and sorority.
2. That a 4'x8' monument style sign be located at the front of the property near the entrance.

Mr. Coleman made a motion to approve this request with stipulations that it will be a realty office only and monument style sign. Ms. Kinsey seconded the motion to approve this request. Members voted unanimously to approve the request.

RECOMMENDED FOR APPROVAL

STAFF UPDATES

Mashell Daniel advised the commission that the notification process for public hearing be changed from 200 feet to 500 feet the City would have to amend the Master Fee List which is done in September. She advised that the budget would have to be increased as well to cover the cost of mailing and legal notification. She explained that City Staff would have to review the impact on the budget before amending. She advised the Commission that any amendments would have to be heard and approved by City Council.

Mr. Joyce stated that the amendments need to be figured and advise them of a number and then make as suggestion to City Council that the notification be increased to 500'. He said that no one received the newspaper anymore and the public may or may not see something on Facebook or the internet.

MINUTES

Consider approval of the November 1, 2021 Planning and Zoning Commission meeting minutes.

Dr. Northam made a motion to approve the minutes. Mr. Coleman seconded the motion. All members voted unanimously to approve the minutes.

MINUTES RECOMMENDED FOR APPROVAL

There being no further business, the meeting was adjourned.

Gene Joyce, III Chairperson

Laura Puckett, Zoning Administrator