



**CITY OF TEXARKANA**  
**PLANNING & ZONING COMMISSION**  
**AGENDA • FEBRUARY 5, 2024**

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|                         |                        |                |
|-------------------------|------------------------|----------------|
| <b>Council Chambers</b> | <b>Regular Meeting</b> | <b>6:00 PM</b> |
|-------------------------|------------------------|----------------|

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220 TEXAS BLVD.  
 TEXARKANA, TX 75501

|                         |                     |                               |
|-------------------------|---------------------|-------------------------------|
| <b>Chairperson</b>      | <b>Commissioner</b> | <b>Commissioner</b>           |
| Gene Joyce III          | James Larkins       | Brad Bailey                   |
| <b>Vice Chairperson</b> | <b>Commissioner</b> | <b>Alternate Commissioner</b> |
| Dianna Patterson Kinsey | Wanda Northam       | Lee Kernek                    |
| <b>Commissioner</b>     | <b>Commissioner</b> | <b>Alternate Commissioner</b> |
| Tom Coleman             | Casey Boyette       | Ross Sarine                   |

**I. CALL TO ORDER**

**II. AGENDA ITEMS**

1. Consider Approval of James Cannon Addition final and preliminary plat, located at or near 2712 Austin Street. James Cannon, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.
  
  2. Consider approval of the preliminary plat for Cedar Cottages Addition, located in the 5800 block of Cooks Lane. 2B Builders LLC, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.
  
  3. Amendment to PD-05-7 for site plan approval on an approximate 4-acre tract of land (being part of Tracts 71, 71B, 71A, and 71C), George Brinlee HRS, A18, located at 1 Roundabout Way. Cheney Pruett, owner and Kayla Wood, MTG Engineers and Surveyors, agent.
-

4. Ordinance No. 2024-021 amending the Zoning Code, Chapter 140, Article VII by adding Section 140-182, "Telecommunications Tower & Stealth Telecommunications Tower", and adding corresponding definitions to Section 140-179 and "Utility and Service Uses" to Section 140-81(b).

### **III. STAFF UPDATES**

### **IV. CONSIDER APPROVAL OF MINUTES**

1. Consider approval of the Planning and Zoning Commission meeting minutes from January 2, 2024.

### **V. ADJOURNMENT**

This open meeting of a governmental entity is subject to the Texas Open Meetings Act (Chapter 551, Government Code). The "Council Chambers" is the room or property where the Planning and Zoning Commission holds this meeting.

Pursuant to Section 46.035(c), Penal Code (unlawful carrying of handgun by license holder), a license holder commits an offense if the license holder intentionally, knowingly, or recklessly carries a handgun under the authority of Subchapter H, Chapter 411, Government Code, regardless of whether the handgun is concealed or carried in a shoulder or belt holster, in the room or rooms where a meeting of a governmental entity is held and if the meeting is an open meeting subject to Chapter 551, Government Code, and the entity provided notice as required by that chapter.

Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun.

Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.

This meeting is being conducted in accordance with the Americans with Disabilities Act [42 USC 12101 (1991)]. The facility is wheelchair accessible and handicap parking is available. Requests for sign interpretive services are available upon requests received at least 48 hours prior to the meeting. To make arrangements for these services, please call 903.798.3917, Personnel or (TDD) 1.800.RELAY.TX (1.800.735.2989).

## City of Texarkana, Texas

Version:

Update Date: 1/31/2024 1:58 PM

**Summary Sheet**

**Lead Department:** Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator  
**Subject:** Consider Approval of James Cannon Addition final and preliminary plat, located at or near 2712 Austin Street. James Cannon, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

**Meeting Date:** 2/5/2024**Attachments**

- a. PlatComments-JamesCannonAddition-February2024 (PDF)

**Staff Coordination**

|                              |                    |                        |                        |
|------------------------------|--------------------|------------------------|------------------------|
| City Manager                 | Jennifer Evans     | Department Head Review | Pending                |
| Building Code Administration |                    | Mashell Daniel         | Department Head Review |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    |                        | Department Review      |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    | Laura Puckett          | Meeting                |
|                              | 02/05/2024 6:00 PM |                        | Pending                |

**Updates/History of Briefing:**

NOT APPLICABLE

**Executive Summary and Background Information:**

See attached memorandum

**Potential Options:**

Approve or deny

**Fiscal Implications:**

NOT APPLICABLE

**Staff Recommendation:**

Staff recommends approval of the final and preliminary plat pending and staff and utility changes.

**Advisory Board/Committee Review:**

Planning and Zoning Commission

**Board/Committee Recommendation:**

**City of Texarkana, Texas**

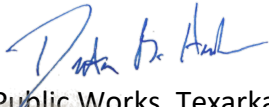
NOT APPLICABLE

**Advisory Board/Committee Meeting Date and Minutes:**

February 5, 2024

## MEMORANDUM

**To:** Planning and Zoning Commission

**From:** Dusty Henslee, P.E., CFM, CPM   
Assist. City Manager/Director of Public Works, Texarkana, Texas

**Date:** January 31, 2024

**Subject:** **Consider approval of James Cannon Addition**

This is a request by James Cannon, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent, to consider approval of the James Cannon Addition. The purpose of this to combine all these lots into 2 lots.

**Comments are as follows:**

1. TxDOT – No response
2. Summit Utilities – No issues
3. Sparklight/Cableone – No response
4. Windstream - No response
5. Electric Companies
  - a. AEP - No issues
  - b. Bowie Cass – No issues
  - c. REA – No response
6. TWU - See memo
7. PW/Planning Departments
  - a. Tax certificate of the property for recording purposes from BCAD must be provided showing all taxes have been paid for entire property in order to be recorded at the County Courthouse (Texas State Legislature amendment 12.002 of the Texas Property Code)
  - b. Prior to issuing CO for house the following has to be submitted:
    1. Electronic copy of recorded plat at Bowie County
    2. Plot plan must be submitted for review for driveway permit and Certificate of Compliance
    3. Just as a note, driveway must be an allweather surface. Contact Jonathan Wade, City Engineer, for details.
8. Fire Department – No issues

Staff recommends approval of the final and preliminary plat pending any staff and utility changes mentioned above. Once the final plat is approved, it must be recorded within 121 days after approval by the Commission or the approval is void.

**From:** [Zac Pianalto](#)  
**To:** [TEX-Henslee, Dustin](#); [Dusty Wiley](#)  
**Subject:** RE: Plat Review: James Cannon Addition  
**Date:** Wednesday, January 17, 2024 10:28:14 AM  
**Attachments:** [image001.png](#)

**CAUTION:** This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dusty Henslee,

SWEPCO has no objections to the replat, there is a SWEPCO pole#346733 and pedestal between the two lots on the north side of Austin St.

Thank you,



**ZAC PIANALTO | ENGINEER**

[ZSPIANALTO@AEP.COM](mailto:ZSPIANALTO@AEP.COM) | C:903.826.5027

3708 W 7TH ST, TEXARKANA, TX 75501-6324

**From:** TEX-Henslee, Dustin <dustin.henslee@texarkanatexas.gov>  
**Sent:** Wednesday, January 17, 2024 8:42 AM  
**To:** Dusty Wiley <dwwiley@aep.com>; Zac Pianalto <zspianalto@aep.com>; michael.a.latham@windstream.com; chris.jackson@windstream.com; TWU-Smith, Gary <gsmith@txkusa.org>; TEX-Daniel, Mashell <mhodes@texarkanatexas.gov>; willb@bcec.com; TWU-Rogers, Terri <terri.rogers@txkusa.org>; joe.langley@sparklight.biz; TTFD-James, Heather <heather.james@texarkanatexas.gov>; mgross <mgross@bowieappraisal.org>; Tommy Bruce <Tommy.Bruce@txdot.gov>; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks <bbrooks@summitutilities.com>; GREG STRICKLAND <gstrickland@summitutilities.com>; Stephanie Green <sgreen@conterra.com>; Jeremy Lindsey <jlindsey@swrea.com>; dmcdowell@swrea.com; TX-Maxey, Shawn <s.maxey@texarkanatexas.gov>; Adam Keahey <akeahey@conterra.com>  
**Cc:** TEX-Puckett, Laura <lpuckett@texarkanatexas.gov>  
**Subject:** [EXTERNAL] Plat Review: James Cannon Addition

All,

We have received a request for approval of the plat for James Cannon Addition, being a replat of lots 1-12, block 9 and lots 13-24, block 6 Greater Texarkana Addition. They are replatting these lots into 2 lots. This is located at the intersection of Austin Street and Ward Avenue.

Attached is the application, checklist, and plat for the proposed plat. This will be on the February 5, 2024 P&Z agenda so please review and provide any comments back to me via email by **12 PM, January 31, 2024**. If you have any questions, please let me know.

Thanks,

***Dusty Henslee, P.E., CFM, CPM***  
***Assistant City Manager/Director of Public Works***  
***City of Texarkana, Texas***  
Office: (903)-798-3953  
Cell: (903)-908-1808

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

**From:** [Brandon Brooks](#)  
**To:** [TEX-Henslee, Dustin](#)  
**Cc:** [Ronnie Watkins](#)  
**Subject:** RE: [EXTERNAL EMAIL] Plat Review: James Cannon Addition  
**Date:** Wednesday, January 17, 2024 9:17:18 AM  
**Attachments:** [image001.jpg](#)

**CAUTION:** This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Summit has nothing in conflict at this location. Thanks



Brandon Brooks  
 Operations Supervisor | Texarkana, Arkansas  
 903.824.1304 c.  
[bbrooks@summitutilities.com](mailto:bbrooks@summitutilities.com)

**From:** TEX-Henslee, Dustin <dustin.henslee@texarkanatexas.gov>  
**Sent:** Wednesday, January 17, 2024 8:42 AM  
**To:** dw Wiley@aep.com; Zachary S Pianalto <zspianalto@aep.com>; michael.a.latham@windstream.com; chris.jackson@windstream.com; TWU-Smith, Gary <gsmith@txkusa.org>; TEX-Daniel, Mashell <mhodges@texarkanatexas.gov>; willb@bcec.com; TWU-Rogers, Terri <terri.rogers@txkusa.org>; joe.langley@sparklight.biz; TTFD-James, Heather <heather.james@texarkanatexas.gov>; mgross <mgross@bowieappraisal.org>; Tommy Bruce <Tommy.Bruce@txdot.gov>; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks <bbrooks@summitutilities.com>; Greg Strickland <gstrickland@summitutilities.com>; Stephanie Green <sgreen@conterra.com>; Jeremy Lindsey <jlindsey@swrea.com>; dmcdowell@swrea.com; TX-Maxey, Shawn <s.maxey@texarkanatexas.gov>; Adam Keahey <akeahey@conterra.com>  
**Cc:** TEX-Puckett, Laura <lpuckett@texarkanatexas.gov>  
**Subject:** [EXTERNAL EMAIL] Plat Review: James Cannon Addition

All,

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Attached is the application, checklist, and plat for the proposed plat. This will be on the February 5, 2024 P& Z agenda so please review and provide any comments back to me via email by **12 PM, January 31, 2024**. If you have any questions, please let me know.

Thanks,

***Dusty Henslee, P.E., CFM, CPM***  
***Assistant City Manager/Director of Public Works***  
***City of Texarkana, Texas***  
Office: (903)-798-3953  
Cell: (903)-908-1808

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## Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone  
711 TTY  
(903) 791-0724 Fax

# MEMORANDUM

**To:** Dusty Henslee, P.E., CFM, CSI, Assistant City Manager, City of Texarkana, Texas

**From:** Gary L. Smith, P.E., Executive Director, TWU

**Date:** January 18, 2024

**Re:** **James Cannon Addition – Replat of Lots No. 1-12, Block No. 9, and Lots No. 13-24, Block No. 6 of the Greater Texarkana Addition**

The Utility staff has reviewed the above replat and has the following comments:

1. There is an existing six-inch (6") water main on the north side of Austin Street and an existing six-inch (6") sanitary sewer main in Austin Street.
2. The Utility reserves the right to request additional utility easements upon review of the plans.
3. The size and location of the existing water and sanitary sewer mains have not been field verified. The developer's representative shall field verify the size and location of the existing utilities before designing or constructing extensions of the system

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

cc: Kenny Icenhower, P.E., Assistant Director, TWU  
Bill Moss, GIS Asset Management Administrator, TWU  
Teresa Akard, O & M Coordinator, TWU  
Michelle Warren, Executive Assistant, TWU

**TEX-Henslee, Dustin**

**From:** TEX-Henslee, Dustin  
**Sent:** Wednesday, January 17, 2024 8:42 AM  
**To:** dw Wiley@aep.com; Zachary S Pianalto; michael.a.latham@windstream.com; Chris Jackson; TWU-Smith, Gary; TEX-Daniel, Mashell; willb@bcec.com; TWU-Rogers, Terri; Langley, Joe; TTFD-James, Heather; mgross@bowieappraisal.org; Tommy Bruce; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks; GREG STRICKLAND; Stephanie Green; Jeremy Lindsey; dmcdowell@swrea.com; TX-Maxey, Shawn; Adam Keahey  
**Cc:** TEX-Puckett, Laura  
**Subject:** Plat Review: James Cannon Addition  
**Attachments:** PlatReview-JamesCannonAddition-Feb2024.pdf

All,

We have received a request for approval of the plat for James Cannon Addition, being a replat of lots 1-12, block 9 and lots 13-24, block 6 Greater Texarkana Addition. They are replatting these lots into 2 lots. This is located at the intersection of Austin Street and Ward Avenue.

Attached is the application, checklist, and plat for the proposed plat. This will be on the February 5, 2024 P& Z agenda so please review and provide any comments back to me via email by **12 PM, January 31, 2024**. . If you have any questions, please let me know.

Thanks,

***Dusty Henslee, P.E., CFM, CPM***  
***Assistant City Manager/Director of Public Works***  
***City of Texarkana, Texas***  
 Office: (903)-798-3953  
 Cell: (903)-908-1808

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Attachment: PlatComments-JamesCannonAddition-February2024 (4174 : Consider Approval of James Cannon Addition final and preliminary



CITY OF

TEXARKANA  
TEXAS

2.1.a

P.O. Box 1967  
Texarkana, TX 75504  
Phone (903) 798-3900**Application for Subdivision Plat Approval****Type:**☐ Preliminary ☐ Final ☒ Replat ☐ Minor ☐ Amended ☐ Vacation**Purpose of Plat:** To combine Lots 1-12, Block No. 9, Lots 13-24, Block No. 6, and a portion of Ward Ave.**Plat Title:** James Cannon Addition**Current Legal Description:** Lots 1-12, Block No. 9, Lots 13-24, Block No. 6, Greater Texarkana Addition n**Total Acreage:** 2.204 **Number of Lots:** 2 **Zoning:** Light Industrial and Single Family 2**Owner/Developer Information:**

Name: Current - James Mark Cannon

Address:

Phone: ( ) Fax: ( ) Work E-mail:

**Surveyor/Engineer Information:**

Name: Jeffrey Wood - MTG Engineers &amp; Surveyors

Address: 5930 Summerhill Road, Texarkana, Texas, 75503

Phone: (903) 838-8533 Fax: ( ) Work E-mail: jwood@mtgengineers.com

**Applicant/Agent Information:**

Name: Jeffrey Wood - MTG Engineers &amp; Surveyors

Address: 5930 Summerhill Road, Texarkana, Texas, 75503

Phone: (903) 838-8533 Fax: ( ) Work E-mail: jwood@mtgengineers.com

**Required Documents:**

- ☐ 1 Electronic Copy of Plat
- ☐ 1 Fullsize Copy of Plat (24"x36")
- ☐ 1 Halfsize Copy of Plat (11"x17")
- ☐ Most Current Recorded Subdivision Plat for Replat or Amendment

**Owners/Applicant Certification**

A plat application will not be considered filed pursuant to Section 212.009 of the Texas Local Government Code until all required documents and fees have been submitted and all of the terms and conditions of the City of Texarkana Subdivision Ordinance, including all necessary studies, plans, and supporting information are accepted and approved. All necessary plat checklists and fees must also be turned in with this application.

I certify that the information on this form and the attached plats is true and accurate to the best of my/our knowledge and that all necessary documents have been submitted for approval, and all terms and conditions of the City of Texarkana, Texas Subdivision Ordinance have been met. I understand that the City may reject this application if any information that is submitted is incomplete.

Jeffrey Wood

Applicant's Printed Name

Applicant's Signature

1/17/24

Date

Application Fee:

Received by:

Revised

Packet Pg. 12

Attachment: PlatComments-JamesCannonAddition-February2024 (4174 : Consider Approval of James Cannon Addition final and preliminary



# CITY OF TEXARKANA TEXAS

P.O. Box 1967  
Texarkana, TX 75504  
Phone (903) 798-3900

## REPLAT CHECKLIST

### GENERAL INFORMATION / PROJECT DESCRIPTION

|                                                                                |                                     |
|--------------------------------------------------------------------------------|-------------------------------------|
| Date, written and graphic scale (100 scale or smaller) and north arrow         | <input checked="" type="checkbox"/> |
| Location Map for proposed development                                          | <input checked="" type="checkbox"/> |
| Title and Name of Subdivision                                                  | <input checked="" type="checkbox"/> |
| Legal Description and identification of tract being subdivided or resubdivided | <input checked="" type="checkbox"/> |

1. Legal description shall be referenced to a previous recorded subdivision

### SPECIFIC PLAT INFORMATION

|                                                                                                                   |                                     |
|-------------------------------------------------------------------------------------------------------------------|-------------------------------------|
| Names or designations of all adjoining subdivisions or properties                                                 | <input checked="" type="checkbox"/> |
| Adjacent dedicated streets, alleys, and easements                                                                 | <input checked="" type="checkbox"/> |
| Outline of proposed tract (shall stand out compared to other boundary lines)                                      | <input checked="" type="checkbox"/> |
| Location and designation of all streets, alleys, and other areas with dimensions that are intended for public use | <input checked="" type="checkbox"/> |
| All block, lot and street boundary lines                                                                          | <input checked="" type="checkbox"/> |

1. Blocks and lots shall be numbered

2. Building lines and easements are shown

a. Commercial (15')

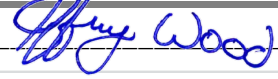
b. Residential (25')

c. In PUR, building line is not less than 15'

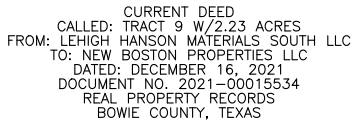
|                                                                                |                                     |
|--------------------------------------------------------------------------------|-------------------------------------|
| Surveyor Note explaining purpose of Replat                                     | <input checked="" type="checkbox"/> |
| 100 Year FEMA Flood Zones                                                      | <input checked="" type="checkbox"/> |
| Finish Floor Elevations (lots adjacent to flood zones and drainage facilities) | <input checked="" type="checkbox"/> |
| Shown all necessary dimensions                                                 | <input checked="" type="checkbox"/> |
| Supplemental Survey Reference Markers                                          | <input checked="" type="checkbox"/> |
| Certificate of ownership                                                       | <input checked="" type="checkbox"/> |
| Certificate of surveyor                                                        | <input checked="" type="checkbox"/> |
| Certificate of approval by planning and zoning commission                      | <input checked="" type="checkbox"/> |

### CERTIFICATION STATEMENT

I have reviewed the checklist and submittals for completeness and accuracy. I understand this plat will not be reviewed until all information is included.


1/17/24  
 \_\_\_\_\_  
 Signature Date  
 Jeffrey Wood  
 \_\_\_\_\_  
 Printed Name

Attachment: PlatComments-JamesCannonAddition-February2024 (4174 : Consider Approval of James Cannon Addition final and preliminary



## City of Texarkana, Texas

## Summary Sheet

Version:

Update Date: 1/31/2024 1:59 PM

**Lead Department:** Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator

**Subject:** Consider approval of the preliminary plat for Cedar Cottages Addition, located in the 5800 block of Cooks Lane. 2B Builders LLC, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

**Meeting Date:** 2/5/2024

## Attachments

- a. PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (PDF)

## Staff Coordination

|                              |                    |                        |                        |
|------------------------------|--------------------|------------------------|------------------------|
| City Manager                 | Jennifer Evans     | Department Head Review | Pending                |
| Building Code Administration |                    | Mashell Daniel         | Department Head Review |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    |                        | Department Review      |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    | Laura Puckett          | Meeting                |
|                              | 02/05/2024 6:00 PM |                        | Pending                |

## Updates/History of Briefing:

NOT APPLICABLE

## Executive Summary and Background Information:

See attached memorandum.

## Potential Options:

Approve or deny

## Fiscal Implications:

NOT APPLICABLE

## Staff Recommendation:

Staff recommends for approval of the preliminary plat pending any staff and utility changes.

## Advisory Board/Committee Review:

Planning and Zoning Commission

## Board/Committee Recommendation:

**City of Texarkana, Texas**

NOT APPLICABLE

**Advisory Board/Committee Meeting Date and Minutes:**

February 5, 2024

## MEMORANDUM

**To:** Planning and Zoning Commission

**From:** Dusty Henslee, P.E., CFM, CPM  
Assist. City Manager/Director of Public Works, Texarkana, Texas

**Date:** January 31, 2024

**Subject:** **Consider approval of preliminary plat for Cedar Cottages Addition**

This is a request by 2B Builders LLC, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent, to consider approval of preliminary plat for Cedar Cottages Addition. The purpose of this is to create 8 Sf-2 lots.

**Comments are as follows:**

1. TxDOT – No response
2. Summit Utilities – No issues
3. Sparklight/Cableone –
  - a. We have an aerial line that runs parallel with Cooks Ln. As long as it is not necessary to relocate this line, then I don't see an issue.
4. Windstream - No response
5. Electric Companies
  - a. AEP - See from AEP below
  - b. Bowie Cass – No issues
  - c. REA – No response
6. TWU - See memo
7. PW/Planning Departments
  - a. Tax certificate of the property for recording purposes from BCAD must be provided showing all taxes have been paid for entire property in order to be recorded at the County Courthouse (Texas State Legislature amendment 12.002 of the Texas Property Code).
  - b. Final plat must also be submitted to P&Z for approval (at later date)
  - c. Development plans for road extension including drainage and utilities must be submitted for approval. City reserves rights to request/modify easements, etc. based on these plans.
  - d. Development must meet all relative ordinances the Land Development Code in our code.
8. Fire Department – No issues

Staff recommends approval of the preliminary plat pending any staff and utility changes mentioned above. Once the final plat is approved, it must be recorded within 121 days after approval by the Commission or the approval is void.

**From:** [Langley, Joe](#)  
**To:** [TEX-Henslee, Dustin](#)  
**Subject:** RE: Plat Review: Preliminary Plat for Cedar Cottages Addition  
**Date:** Wednesday, January 10, 2024 3:39:14 PM

**CAUTION:** This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

We have an aerial line that runs parallel with Cooks Ln. As long as it is not necessary to relocate this line, then I don't see an issue.

**From:** TEX-Henslee, Dustin <dustin.henslee@texarkanatexas.gov>  
**Sent:** Wednesday, January 10, 2024 8:36 AM  
**To:** dwwiley@aep.com; Zachary S Pianalto <zspianalto@aep.com>; michael.a.latham@windstream.com; chris.jackson@windstream.com; TWU-Smith, Gary <gsmith@txkusa.org>; TEX-Daniel, Mashell <mhodges@texarkanatexas.gov>; todc@bcec.com; willb@bcec.com; TWU-Rogers, Terri <terri.rogers@txkusa.org>; Langley, Joe <Joe.Langley@cableone.biz>; TTFD-James, Heather <heather.james@texarkanatexas.gov>; mgross <mgross@bowieappraisal.org>; Tommy Bruce <Tommy.Bruce@txdot.gov>; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks <bbrooks@summitutilities.com>; GREG STRICKLAND <gstrickland@summitutilities.com>; Stephanie Green <sgreen@conterra.com>; Jeremy Lindsey <jlindsey@swrea.com>; dmcdowell@swrea.com; TX-Maxey, Shawn <s.maxey@texarkanatexas.gov>; Adam Keahey <akeahey@conterra.com>  
**Cc:** TEX-Puckett, Laura <lpuckett@texarkanatexas.gov>  
**Subject:** Plat Review: Preliminary Plat for Cedar Cottages Addition

**CAUTION:** External source. **THINK BEFORE YOU CLICK!**

All,

We have received a request for approval of the Preliminary Plat for Cedar Cottages Addition located off Cooks Lane near Bethany Lane.

Attached is the application, checklist, and plat for the proposed plat. This will be on the February 5, 2024 P& Z agenda so please review and provide any comments back to me via email by **12 PM, January 31, 2024.** . If you have any questions, please let me know.

Thanks,

**Dusty Henslee, P.E., CFM, CPM**  
**Assistant City Manager/Director of Public Works**  
**City of Texarkana, Texas**  
 Office: (903)-798-3953  
 Cell: (903)-908-1808

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

## TEX-Henslee, Dustin

**From:** Jeffrey Wood <jwood@mtgengineers.com>  
**Sent:** Friday, January 12, 2024 11:22 AM  
**To:** TEX-Henslee, Dustin; Zac Pianalto; Dusty Wiley  
**Subject:** RE: Plat Review: Preliminary Plat for Cedar Cottages Addition  
**Attachments:** We sent you safe versions of your files; Cedar Cottages Addition.pdf

**CAUTION:** This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Updated, and with everything shown.

**From:** TEX-Henslee, Dustin <dustin.henslee@texarkanatexas.gov>  
**Sent:** Thursday, January 11, 2024 3:17 PM  
**To:** Zac Pianalto <zspianalto@aep.com>; Dusty Wiley <dwwiley@aep.com>  
**Cc:** Jeffrey Wood <jwood@mtgengineers.com>  
**Subject:** Re: Plat Review: Preliminary Plat for Cedar Cottages Addition

You don't often get email from [dustin.henslee@texarkanatexas.gov](mailto:dustin.henslee@texarkanatexas.gov). [Learn why this is important](#)

I will add your request to my comments.

Get [Outlook for iOS](#)

**From:** Zac Pianalto <zspianalto@aep.com>  
**Sent:** Thursday, January 11, 2024 3:03:16 PM  
**To:** TEX-Henslee, Dustin <dustin.henslee@texarkanatexas.gov>; Dusty Wiley <dwwiley@aep.com>  
**Cc:** Jeffrey Wood (<jwood@mtgengineers.com>) <jwood@mtgengineers.com>  
**Subject:** RE: Plat Review: Preliminary Plat for Cedar Cottages Addition

**CAUTION:** This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dusty Henslee and Jeffrey,

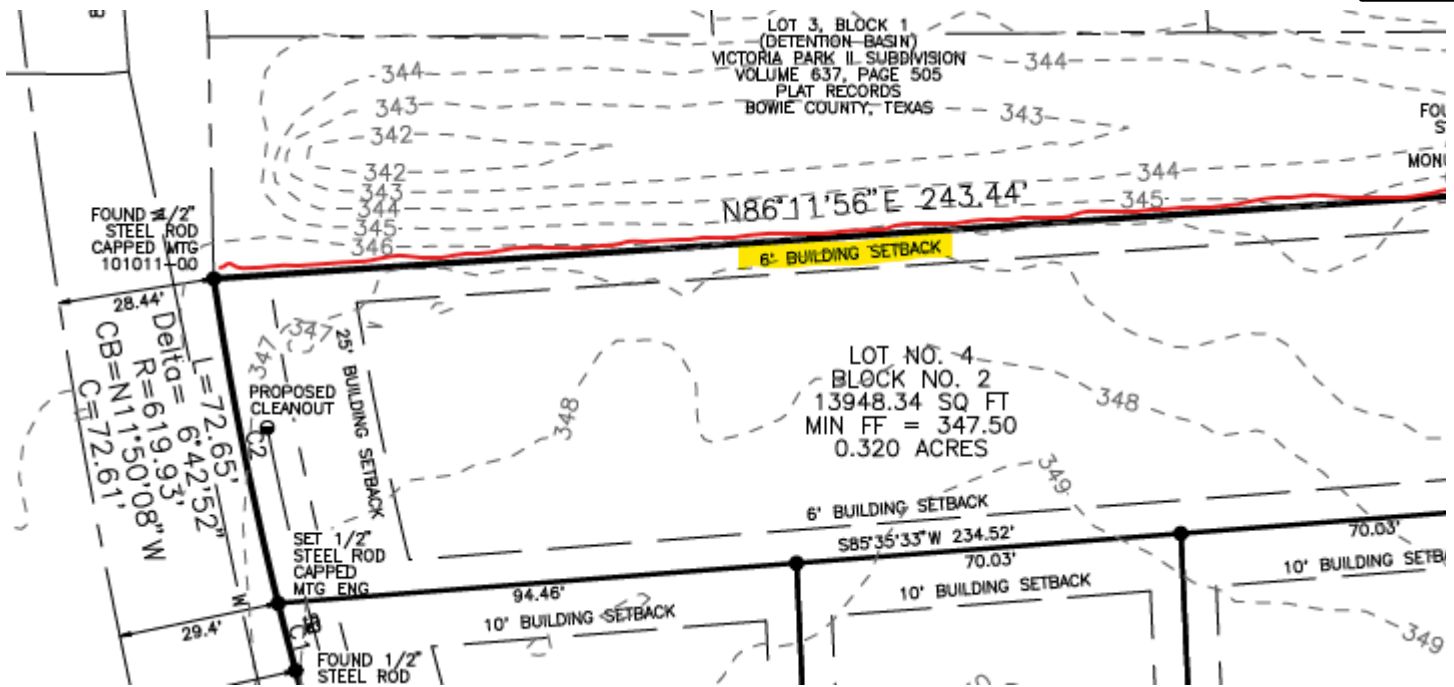
Currently there is a SWEPCO overhead line running along the north property line not shown on the Plat. Would it be possible to modify the building set back along the north side of lot no. 4, block no. 2 to a ten foot building setback?

Thank you,



**ZAC PIANALTO | ENGINEER**  
[ZSPIANALTO@AEP.COM](mailto:ZSPIANALTO@AEP.COM) | C:903.826.5027  
 3708 W 7TH ST, TEXARKANA, TX 75501-6324

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages



**From:** TEX-Henslee, Dustin <[dustin.henslee@texarkanatexas.gov](mailto:dustin.henslee@texarkanatexas.gov)>

**Sent:** Wednesday, January 10, 2024 8:36 AM

**To:** Dusty Wiley <[dw Wiley@aep.com](mailto:dw Wiley@aep.com)>; Zac Pianalto <[zspianalto@aep.com](mailto:zspianalto@aep.com)>; [michael.a.latham@windstream.com](mailto:michael.a.latham@windstream.com); [chris.jackson@windstream.com](mailto:chris.jackson@windstream.com); TWU-Smith, Gary <[gsmith@txkusa.org](mailto:gsmith@txkusa.org)>; TEX-Daniel, Mashell <[mhodes@texarkanatexas.gov](mailto:mhodes@texarkanatexas.gov)>; [todd@bcec.com](mailto:todd@bcec.com); [willb@bcec.com](mailto:willb@bcec.com); TWU-Rogers, Terri <[terri.rogers@txkusa.org](mailto:terri.rogers@txkusa.org)>; [joe.langley@sparklight.biz](mailto:joe.langley@sparklight.biz); TTFD-James, Heather <[heather.james@texarkanatexas.gov](mailto:heather.james@texarkanatexas.gov)>; mgross <[mgross@bowieappraisal.org](mailto:mgross@bowieappraisal.org)>; Tommy Bruce <[Tommy.Bruce@txdot.gov](mailto:Tommy.Bruce@txdot.gov)>; [philip.mcdowell@rittercommunications.com](mailto:philip.mcdowell@rittercommunications.com); [tray.mcneil@rittercommunications.com](mailto:tray.mcneil@rittercommunications.com); Brandon Brooks <[bbrooks@summitutilities.com](mailto:bbrooks@summitutilities.com)>; GREG STRICKLAND <[gstrickland@summitutilities.com](mailto:gstrickland@summitutilities.com)>; Stephanie Green <[sgreen@conterra.com](mailto:sgreen@conterra.com)>; Jeremy Lindsey <[jlindsey@swrea.com](mailto:jlindsey@swrea.com)>; [dmcowell@swrea.com](mailto:dmcowell@swrea.com); TX-Maxey, Shawn <[s.maxey@texarkanatexas.gov](mailto:s.maxey@texarkanatexas.gov)>; Adam Keahey <[akeahey@conterra.com](mailto:akeahey@conterra.com)>

**Cc:** TEX-Puckett, Laura <[lpuckett@texarkanatexas.gov](mailto:lpuckett@texarkanatexas.gov)>

**Subject:** [EXTERNAL] Plat Review: Preliminary Plat for Cedar Cottages Addition

All,

We have received a request for approval of the Preliminary Plat for Cedar Cottages Addition located off Cooks Lane near Bethany Lane.

Attached is the application, checklist, and plat for the proposed plat. This will be on the February 5, 2024 P&Z agenda so please review and provide any comments back to me via email by **12 PM, January 31, 2024**. If you have any questions, please let me know.

Thanks,

**Dusty Henslee, P.E., CFM, CPM**  
**Assistant City Manager/Director of Public Works**  
**City of Texarkana, Texas**  
 Office: (903)-798-3953  
 Cell: (903)-908-1808

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages



## Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone  
711 TTY  
(903) 791-0724 Fax

# MEMORANDUM

**To:** Dusty Henslee, P.E., CFM, CSI, Assistant City Manager, City of Texarkana, Texas

**From:** Gary L. Smith, P.E., Executive Director, TWU

**Date:** January 11, 2024

**Re:** **Cedar Cottages Addition – Preliminary Plat**

The Utility staff has reviewed the above preliminary plat and has the following comments:

1. There is an existing eight-inch (8”) water main on the east side of Cooks Lane. There is also an existing four-inch (4”) water main on the south side of Bethany Lane terminating near the end of Bethany Lane.
2. A sewer main extension will be required to serve this addition. This will be the responsibility of the owner/developer.
3. The Utility reserves the right to request additional utility easements upon review of the plans.
4. The size and location of the existing water and sanitary sewer mains have not been field verified. The developer’s representative shall field verify the size and location of the existing utilities before designing or constructing extensions of the system

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

cc: Kenny Icenhower, P.E., Assistant Director, TWU  
Bill Moss, GIS Asset Management Administrator, TWU  
Teresa Akard, O & M Coordinator, TWU  
Michelle Warren, Executive Assistant, TWU

**TEX-Henslee, Dustin**

---

**From:** TEX-Henslee, Dustin  
**Sent:** Wednesday, January 10, 2024 8:36 AM  
**To:** dw Wiley@aep.com; Zachary S Pianalto; michael.a.latham@windstream.com; Chris Jackson; TWU-Smith, Gary; TEX-Daniel, Mashell; todc@bcec.com; willb@bcec.com; TWU-Rogers, Terri; Langley, Joe; TTFD-James, Heather; mgross@bowieappraisal.org; Tommy Bruce; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks; GREG STRICKLAND; Stephanie Green; Jeremy Lindsey; dmcdowell@swrea.com; TX-Maxey, Shawn; Adam Keahey  
**Cc:** TEX-Puckett, Laura  
**Subject:** Plat Review: Preliminary Plat for Cedar Cottages Addition  
**Attachments:** PlatReview-CedarCottagesAddition-Jan2024.pdf

All,

We have received a request for approval of the Preliminary Plat for Cedar Cottages Addition located off Cooks Lane near Bethany Lane.

Attached is the application, checklist, and plat for the proposed plat. This will be on the February 5, 2024 P&Z agenda so please review and provide any comments back to me via email by **12 PM, January 31, 2024**. . If you have any questions, please let me know.

Thanks,

***Dusty Henslee, P.E., CFM, CPM***  
***Assistant City Manager/Director of Public Works***  
***City of Texarkana, Texas***  
 Office: (903)-798-3953  
 Cell: (903)-908-1808

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages



CITY OF

TEXARKANA  
TEXAS

2.2.a

P.O. Box 1967  
Texarkana, TX 75504  
Phone (903) 798-3900**Application for Subdivision Plat Approval****Type:**☒ Preliminary ☐ Final ☐ Replat ☐ Minor ☐ Amended ☐ VacationPurpose of Plat: TO COMBINE COOKS LANE ADDITION WITH THE REMAINING 1.982 ACRES, AND TO  
SUBDIVIDE INTO 8 LOTS.**Plat Title:** Cedar Cottages Addition**Current Legal Description:** Lots 1-6 Cooks Lane Addition and part of 1.982 acres in teh MEP&P Co. Survey, Abstract 3**Total Acreage:** 1.981 **Number of Lots:** 8 **Zoning:** SF-2**Owner/Developer Information:**

Name: 2 B Builders, LLC

Address:

Phone: ( ) Fax: ( ) Work E-mail:

**Surveyor/Engineer Information:**

Name: Jeffrey Wood - MTG Engineers &amp; Surveyors

Address: 5930 Summerhill Road, Texarkana TX 75503

Phone: (903) 838-8533 Fax: ( ) Work E-mail: jwood@mtgengineers.com

**Applicant/Agent Information:**

Name: Jeffrey Wood - MTG Engineers &amp; Surveyors

Address: 5930 Summerhill Road, Texarkana TX 75503

Phone: (903) 838-8533 Fax: ( ) Work E-mail: jwood@mtgengineers.com

**Required Documents:**

- ☐ 1 Electronic Copy of Plat
- ☐ 1 Fullsize Copy of Plat (24"x36")
- ☐ 1 Halfsize Copy of Plat (11"x17")
- ☐ Most Current Recorded Subdivision Plat for Replat or Amendment

**Owners/Applicant Certification**

A plat application will not be considered filed pursuant to Section 212.009 of the Texas Local Government Code until all required documents and fees have been submitted and all of the terms and conditions of the City of Texarkana Subdivision Ordinance, including all necessary studies, plans, and supporting information are accepted and approved. All necessary plat checklists and fees must also be turned in with this application.

I certify that the information on this form and the attached plats is true and accurate to the best of my/our knowledge and that all necessary documents have been submitted for approval, and all terms and conditions of the City of Texarkana, Texas Subdivision Ordinance have been met. I understand that the City may reject this application if any information that is submitted is incomplete.

Jeffrey Wood

Applicant's Printed Name

Applicant's Signature

1/8/24

Date

Application Fee:

Received by:

Revised

Packet Pg. 26

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages



# CITY OF TEXARKANA TEXAS

P.O. Box 1967  
Texarkana, TX 75504  
Phone (903) 798-3900

| PRELIMINARY PLAT CHECKLIST                                                          |                                     |
|-------------------------------------------------------------------------------------|-------------------------------------|
| GENERAL INFORMATION / PROJECT DESCRIPTION                                           |                                     |
| Date, written and graphic scale (100 scale or smaller) and north arrow              | <input checked="" type="checkbox"/> |
| Location Map for proposed development                                               | <input checked="" type="checkbox"/> |
| Name and address of (if applicable):                                                | <input checked="" type="checkbox"/> |
| 1. Developer                                                                        |                                     |
| 2. Record Property Owner or Owners                                                  |                                     |
| 3. Planners                                                                         |                                     |
| 4. Engineer                                                                         |                                     |
| 5. Surveyor                                                                         |                                     |
| BOUNDARIES, ACREAGE, AND USES                                                       |                                     |
| Names or designations of all adjoining subdivisions or properties                   | <input checked="" type="checkbox"/> |
| Any city or extraterritorial lines traversing or on the boundary of the development | <input checked="" type="checkbox"/> |
| Outline of proposed tract (shall stand out compared to other boundary lines)        | <input checked="" type="checkbox"/> |
| Total Acreage in development                                                        | <input checked="" type="checkbox"/> |
| Existing and Proposed Land Uses and Acreage                                         | <input checked="" type="checkbox"/> |
| Existing and Proposed Zoning                                                        | <input checked="" type="checkbox"/> |
| EXISTING FEATURES                                                                   |                                     |
| Streets, roads, alleys                                                              | <input checked="" type="checkbox"/> |
| Utilities                                                                           | <input checked="" type="checkbox"/> |
| 1. Water                                                                            |                                     |
| 2. Sewer                                                                            |                                     |
| 3. Gas                                                                              |                                     |
| 4. Electric                                                                         |                                     |
| 5. Cable, Phone, Etc.                                                               |                                     |
| Survey Information                                                                  | <input checked="" type="checkbox"/> |
| 1. Lot Information                                                                  |                                     |
| 2. Easements                                                                        |                                     |
| 3. Building Lines                                                                   |                                     |
| 4. Street Names                                                                     |                                     |
| 5. Setbacks                                                                         |                                     |
| Parks                                                                               | <input type="checkbox"/>            |
| Drainage Facilities                                                                 | <input checked="" type="checkbox"/> |
| 1. Watercourses (rivers, creeks, ravines, channels, etc.)                           |                                     |
| 2. Bridges                                                                          |                                     |
| 3. Culverts                                                                         |                                     |
| 4. Underground drainage systems                                                     |                                     |
| 5. Ponds (Retention/Detention)                                                      |                                     |
| 6. FEMA Flood Zones                                                                 |                                     |
| Contour Lines (not greater than 3' intervals)                                       | <input checked="" type="checkbox"/> |

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages



# CITY OF TEXARKANA TEXAS

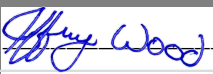
P.O. Box 1967  
Texarkana, TX 75504  
Phone (903) 798-3900

## PROPOSED FEATURES

|                                                           |                                     |
|-----------------------------------------------------------|-------------------------------------|
| Streets, roads, alleys                                    | <input checked="" type="checkbox"/> |
| Utilities                                                 | <input checked="" type="checkbox"/> |
| 1. Water                                                  |                                     |
| 2. Sewer                                                  |                                     |
| 3. Gas                                                    |                                     |
| 4. Electric                                               |                                     |
| 5. Cable, Phone, Etc.                                     |                                     |
| Survey Information                                        | <input checked="" type="checkbox"/> |
| 1. Lot Information                                        |                                     |
| 2. Easements                                              |                                     |
| 3. Building Lines                                         |                                     |
| 4. Street Names                                           |                                     |
| 5. Setbacks                                               |                                     |
| Parks                                                     | <input type="checkbox"/>            |
| Drainage Facilities                                       | <input checked="" type="checkbox"/> |
| 1. Watercourses (rivers, creeks, ravines, channels, etc.) |                                     |
| 2. Bridges                                                |                                     |
| 3. Culverts                                               |                                     |
| 4. Underground drainage systems                           |                                     |
| 5. Ponds (Retention/Detention)                            |                                     |
| 6. FEMA Flood Zones                                       |                                     |
| Contour Lines (not greater than 3' intervals)             | <input checked="" type="checkbox"/> |
| Registered Professional Land Surveyor Seal                | <input checked="" type="checkbox"/> |

## CERTIFICATION STATEMENT

I have reviewed the checklist and submittals for completeness and accuracy. I understand this plat will not be reviewed until all information is included.


1/8/24  
 \_\_\_\_\_  
 Signature Date  
 Jeffrey Wood  
 \_\_\_\_\_  
 Printed Name

Attachment: PlatComments-PrelimPlat-CedarCottagesAddition-Feb2024 (4175 : Consider approval preliminary plat for Cedar Cottages



GRAPHIC SCALE 1"=40'

LEGEND

- Fire Hydrant
- Manhole

| CURVE | LENGTH | DELTA    | RADIUS  | CHD BEAR    | CHORD  |
|-------|--------|----------|---------|-------------|--------|
| C1    | 12.65' | 110°08'  | 619.93' | N14°36'30"W | 12.65' |
| C2    | 60.00' | 5°32'44" | 619.93' | N11°15'04"W | 59.98' |

Property Description  
1.981 Acres  
Bowie County, Texas

All that certain lot, tract or parcel of land lying and situated in the M.E.P. & P. Railway Headright Survey, Abstract 482, Bowie County, Texas, being all of that certain tract of land described as the Cooks Lane Addition to the City of Texarkana, Texas, according to the plat filed in Plat Cabinet D, Sleeve 113, and recorded in Document No. 2022-00005047 of the Real Property Records of Bowie County, Texas, and being a part of that certain tract of land described as 1.982 acres in the deed from Juanita Louise Hatridge to TKX Development, LLC, dated August 19, 2021, recorded in Document No. 2021-00010013 of the Real Property Records of Bowie County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch steel rod, capped MTG 101011-00, found for a corner lying in the East right-of-way line of Cooks Lane, being the Southwest corner of the said 1.982 acre tract, and the Northwest corner of that certain tract of land described as 0.045 acres in the deed from Ashley James, et vir to Alexander Serrano, et ux, dated January 31, 2020, recorded in Document No. 2020-00001414 of the Real Property Records of Bowie County, Texas;

THENCE North 02 degrees 33 minutes 24 seconds West a distance of 128.88 feet along the East right-of-way line of the said Cooks Lane, the West line of the said 1.982 acre tract to a 1/2 inch steel rod, capped MTG 101011-00, found for a corner, at an angle point;

THENCE North 15 degrees 11 minutes 34 seconds West a distance of 412.35 feet along the East right-of-way line of the said Cooks Lane, the West line of the said 1.982 acre tract and the West line of the said Cooks Lane Addition to a 1/2 inch steel rod, capped MTG 101011-00, found for a corner, at the beginning of a circular curve, to the right, tangent to said line;

THENCE in a Northwesterly direction along the arc of the said circular curve a distance of 72.65 feet, having a delta angle of 06 degrees 42 minutes 53 seconds, a radius of 619.93 feet, a chord bearing of North 11 degrees 50 minutes 08 seconds West, and a chord distance of 72.61 feet to a 1/2 inch steel rod, capped MTG 101011-00, found for a corner, the Northwest corner of the said Cooks Lane Addition, and lying in the South line of Lot 3 Block 1 of Victoria Park II Subdivision, according to the map or plat recorded in Volume 637, Page 505 of the Plat Records of Bowie County, Texas;

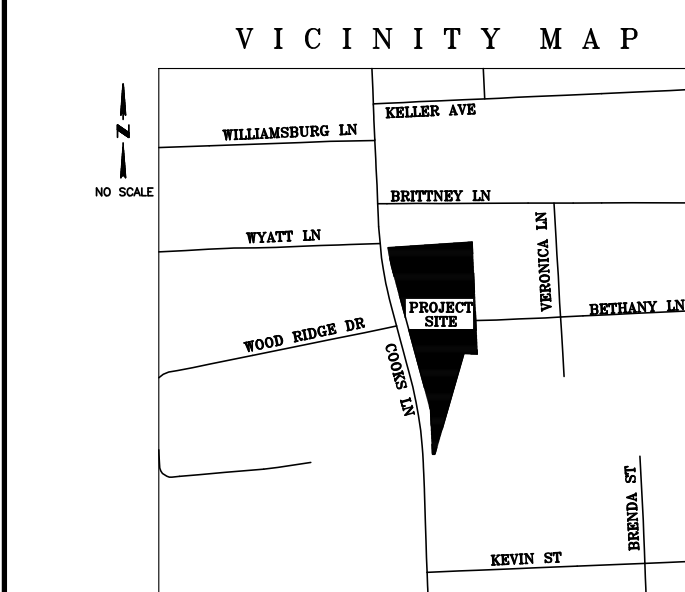
THENCE North 86 degrees 11 minutes 56 seconds East a distance of 243.44 feet along the North line of the said Cooks Lane Addition and the South line of the said Lot 3 to a 5/8 inch steel rod (control monument), found for a corner, the Northeast corner of the said Cooks Lane Addition, the Northwest corner of Lot 1, Block 1 of the said Victoria Park II Subdivision;

THENCE South 02 degrees 38 minutes 44 seconds East (basis of bearings) ) at a distance of 162.21 feet along the East line of the said Cooks Lane Addition and the West line of the said Lot 1 passing a 1/2 inch steel rod (control monument), found for a corner, the Southwest corner of the said Lot 1, the Northwest corner of Bethany Lane right-of-way, and continuing along the said course a distance of 161.80 feet along the West right-of-way of the said Bethany Lane, and the West line of Lot 1, Block 3 of the said Victoria Park II for a total distance of 324.01 feet to a 1/2 inch steel rod, capped MTG 101011-00, found for a corner, an outside ell corner in the East line of the said Cooks Lane Addition;

THENCE North 87 degrees 47 minutes 18 seconds West a distance of 38.54 feet along the South line of the said Cooks Lane Addition and the North line of the said Lot 1, Block 3 to a 1/2 inch steel rod, found for a corner, being an inside ell corner of the said Cooks Lane Addition, and an outside ell corner of the said Lot 1, Block 3;

THENCE South 16 degrees 06 minutes 27 seconds West at a distance of 49.20 feet along the East line of the said Cooks Lane Addition, the East line of the said 1.982 acre tract, and the West line of the said Lot 1, Block 3 passing a 1/2 inch steel rod, found for a corner, the Southwest corner of the said Lot 1, Block 3, and the Northwest corner of that certain tract of land described as 3.05 acres in the deed from Willstene Dunn to Michael M. Bratton, et ux, dated November 30, 1989, recorded in Volume 1411, Page 16 of the Real Property Records of Bowie County, Texas, and continuing along said course, the East line of the said 1.982 acre tract, the West line of the said 3.05 acre tract, and the West line of that certain tract of land described as 2.00 acres in the deed from Donald Charles Book, et al, dated April 15, 2022, recorded in Document No. 2022-00005207 of the Real Property Records Of Bowie County, Texas, a distance of 254.07 feet for a total distance of 303.27 feet to a 1/2 inch steel rod, capped MTG 101011-00, found for a corner, the Southeast corner of the said 1.982 acre tract, the Southwest corner of the said 2.00 acre tract, and lying in the North line of the said 0.045 acre tract; a distance of 303.27 feet;

THENCE South 86 degrees 51 minutes 48 seconds West a distance of 6.51 feet to along the South line of the said 1.982 acre tract, the North line of the said 0.045 acre tract the point of beginning and containing 1.981 acres of land, at the time of this survey.



The bearings are based on Grid North within the Texas Coordinate System of 1983, North Central Zone - NAD83 (CONRS86, EPOCH2022.0), grid, with a bearing of SOUTH 02 degrees 38 minutes 44 seconds EAST. The following control monuments were used to establish the basis of bearings:

|                                                             |                                                             |
|-------------------------------------------------------------|-------------------------------------------------------------|
| CONTROL MONUMENT/SRM #1<br>N=7245989.8537<br>E=3315255.8564 | CONTROL MONUMENT/SRM #2<br>N=7245987.8269<br>E=3315263.3437 |
|-------------------------------------------------------------|-------------------------------------------------------------|

NOTE:  
In providing this boundary survey, no attempt has been made to obtain or show data concerning existence, size, depth, condition, capacity or location of any utility existing on the site, whether private, municipal or public owned. Subsurface and environmental conditions were not surveyed or examined or statement is made concerning the existence of underground or overhead conditions, containers or facilities that may affect the use or development of this property. Easement research was not done for this property by the surveyor, nor was a current title policy provided prior to this survey.

CERTIFICATE OF DEDICATION BY OWNER

We, TKX Development, LLC., being the Owner of a tract of land as shown on the attached map or plat have caused the same to be surveyed, plotted and subdivided as shown, and which subdivision shall hereafter be known as Cedar Cottages Addition, a subdivision of a part of the M. E. P. & P. Railway Headright Survey, Abstract 428, Bowie County, Texas, and by these presents. We hereby dedicate to the public in fee simple, the streets and roads as shown on this plat, and by this instrument, We hereby dedicate the easements shown on this plat for drainage and utility purposes.

Brad Meador, Managing Member

STATE OF TEXAS  
COUNTY OF BOWIE

Before me, the undersigned authority in and for said County and State, on this day personally appeared Brad Meador, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he/she executed the same for the purpose and consideration therein expressed, and in the capacity therein stated. GIVEN UNDER MY HAND AND SEAL this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public \_\_\_\_\_ Commission Expires: \_\_\_\_\_  
State of Texas

CERTIFICATE OF APPROVAL BY PLANNING COMMISSION

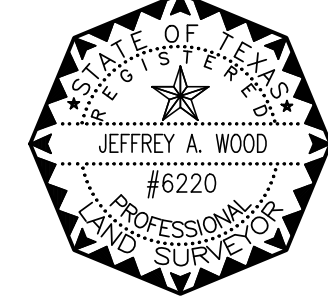
We, the undersigned, do hereby certify that the Cedar Cottages Addition, a subdivision of a part of the M. E. P. & P. Railway Headright Survey, Abstract 428, Bowie County, Texas, together with the Owner's Certificate and Surveyor's Certificate of same were presented to the Planning Commission of the City of Texarkana, Bowie County, Texas, for its approval, and that said plat, Owner's Certificate, and Surveyor's Certificate being found to conform to the requirements in all respects, are in all things approved on this the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Planning Commission Approval \_\_\_\_\_ Chairman  
Expires on \_\_\_\_\_ Secretary

CERTIFICATE OF ENGINEER OR SURVEYOR

I, Jeffrey A. Wood, do hereby certify that I am a Registered Professional Land Surveyor in the State of Texas and that subdivision plat attached hereto correctly reflects the results of a survey made by me on the ground X, 2023, that the corner monuments are in place at points on the boundaries as shown, that there are no visible encroachments (other than shown on the map) or discrepancies, and that the subdivision shall be known as Cedar Cottages Subdivision, a subdivision of a part of the M. E. P. & P. Railway Headright Survey, Abstract 428, Bowie County, Texas.

Jeffrey A. Wood  
Registered Professional Land Surveyor  
No. 6220, State of Texas  
Firm Certificate No. 101011-00  
Date: January 8, 2024



FLOOD STATEMENT:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48037C0355E, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 21, 2017, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATION MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE "X" DENOTES AREAS OUTSIDE OF THE 500 YEAR FLOOD ZONE.

DEVELOPER: TKX DEVELOPMENT, LLC.  
ZONING & PROPOSED ZONING: SINGLE-FAMILY-2  
EXISTING LAND USE: VACANT  
PROPOSED LAND USE: SINGLE FAMILY DEVELOPMENT

- NOTES:
- 1.) ALL MONUMENTS ARE SET 1/2" STEEL RODS CAPPED MTG ENG, UNLESS OTHERWISE INDICATED.
  - 2.) THE PURPOSE OF THE REPLAT IS TO COMBINE COOKS LANE ADDITION WITH THE REMAINING 1.982 ACRES, AND TO SUBDIVIDE INTO 8 LOTS.

| CEDAR COTTAGES ADDITION                                                                                                                                           |                      |             |            |          |           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|-------------|------------|----------|-----------|
| A REPLAT OF COOKS LANE ADDITION AND A PORTION OF A 1.982 ACRES TRACT ALL IN THE M. E. P. & P. RAILWAY COMPANY HEADRIGHT SURVEY, ABSTRACT 428, BOWIE COUNTY, TEXAS |                      |             |            |          |           |
| Date                                                                                                                                                              | Revision/Description |             |            |          |           |
|                                                                                                                                                                   |                      |             |            |          |           |
|                                                                                                                                                                   |                      |             |            |          |           |
|                                                                                                                                                                   |                      |             |            |          |           |
| Drawn By                                                                                                                                                          | Checked By           | Project No. | Dwg. Date  | File No. | Sheet No. |
| DH                                                                                                                                                                | JW                   | 236098      | 01/05/2023 |          |           |

5930 SUMMERHILL ROAD TEXARKANA, TX  
P. 903.638.8533 www.mtgengineers.com  
TBE FIRM NO. F-354 AF C&A NO. 125  
© MTG 2023

## City of Texarkana, Texas

Version:

Update Date: 1/31/2024 2:00 PM

**Summary Sheet**

**Lead Department:** Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator  
**Subject:** Amendment to PD-05-7 for site plan approval on an approximate 4-acre tract of land (being part of Tracts 71, 71B, 71A, and 71C), George Brinlee HRS, A18, located at 1 Roundabout Way. Cheney Pruett, owner and Kayla Wood, MTG Engineers and Surveyors, agent.

**Meeting Date:** 2/5/2024**Attachments**

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)
- c. Revised Site Plan (PDF)
- d. Floorplan (PDF)
- e. Elevations (PDF)

**Staff Coordination**

|                              |                    |                        |                        |
|------------------------------|--------------------|------------------------|------------------------|
| City Manager                 | Jennifer Evans     | Department Head Review | Pending                |
| Building Code Administration |                    | Mashell Daniel         | Department Head Review |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    |                        | Department Review      |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    | Laura Puckett          | Meeting Pending        |
|                              | 02/05/2024 6:00 PM |                        |                        |

**Updates/History of Briefing:**

A site plan approval for this same property went through the Planning and Zoning Commission approval process on December 4, 2023 and was approved. The owner and engineer made significant changes to the site plan thus needing a reapproval on a new revised site plan.

**Executive Summary and Background Information:**

Amendment to PD-05-7 (GR): This is a request by Cheney Pruett, owner, and Kayla Wood, MTG Engineers and Surveyors, agent for site plan approval on an approximate 4-acre tract (being parts of Tracts 71, 71B, 71A, and 71C), George Brinlee HRS, A-18, located at 1 Roundabout way. The current zoning is Planned Development-General Retail. The property is currently vacant property. The proposed use is assisted living.

The Future Land Use Map designates this property as "Neighborhood Retail".

## City of Texarkana, Texas

The adjacent zoning is Planned Development General Retail to the north, east and west, and Agriculture to the south. The adjacent land use is vacant land to the north, south, east, and west.

The site plan consists of the following:

1. The construction of fourteen buildings (28 units) 1375 sq ft each unit.
2. The access driveway will be off Roundabout Way (this will be in the process of building).
3. There will be 2 parking spaces per unit. All parking spaces shall be a minimum of 180 sq. ft. in size.
4. Development must meet Drainage Ordinance and Stormwater Manual Design Standards.
5. The new street (Roundabout Way) being constructed must be finished and accepted prior to any CO's for this development.
6. Property will have to be platted prior to any CO's.
7. Per new street ordinance passed last year, sidewalk will be required along Roundabout Way.
8. Recommend getting cross access easement with the Oaks.

Staff recommends for approval of the site plan with stipulations.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

### Potential Options:

Approve or deny

---

### Fiscal Implications:

NOT APPLICABLE

### Staff Recommendation:

Staff recommends for approval of this request with stipulations.

### Advisory Board/Committee Review:

Planning and Zoning Commission

### Board/Committee Recommendation:

NOT APPLICABLE

### Advisory Board/Committee Meeting Date and Minutes:

February 5, 2024

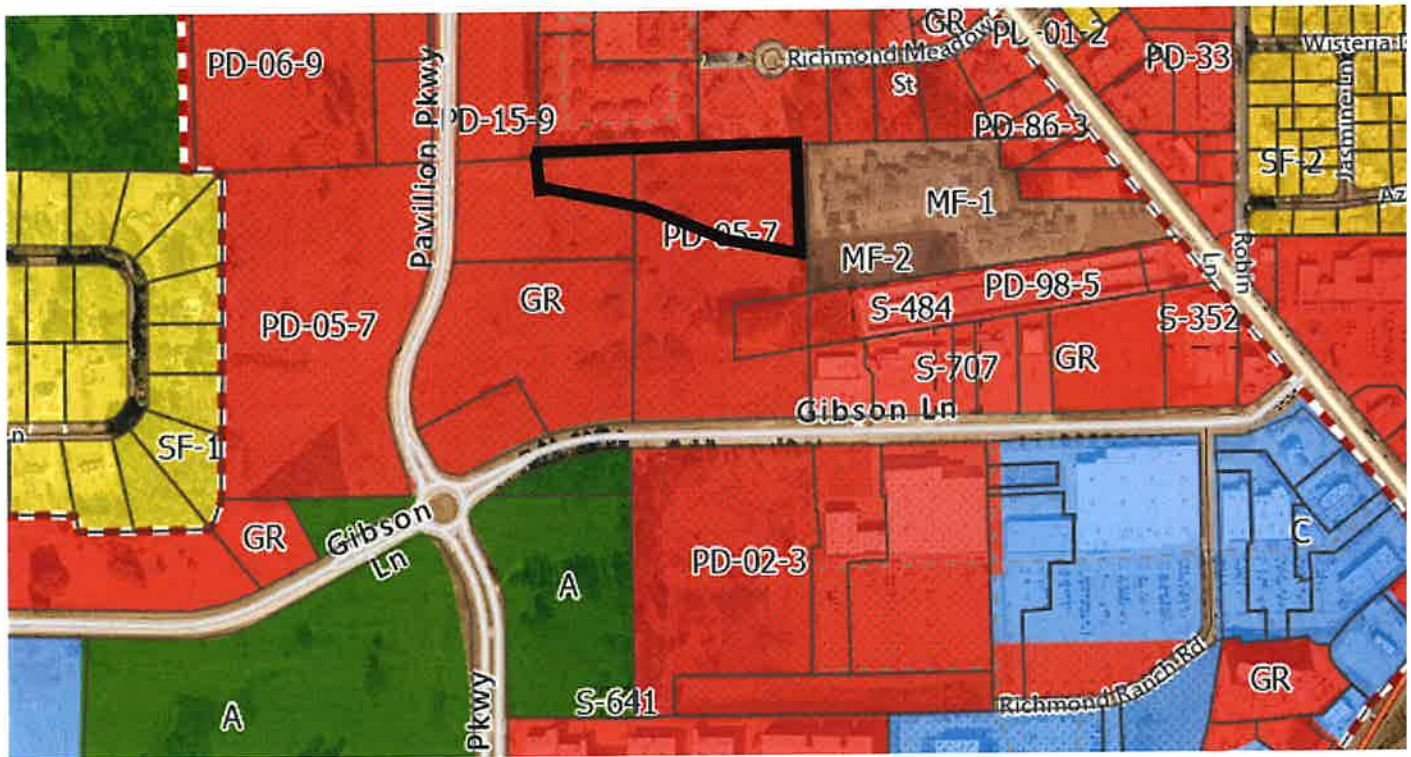
## NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3<sup>rd</sup> & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3945.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, February 5, 2024 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, February 12, 2024 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4<sup>th</sup> vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to [lpuckett@txkusa.org](mailto:lpuckett@txkusa.org)).



OWNER: Cheney Pruett, owner, and Kayla Wood, MTG Engineers and Surveyors, agent

OWNER'S ADDRESS: 5940 Summerhill Rd, Texarkana, Texas 75503

LOCATION OF REZONING: 1 Roundabout Way, Texarkana, Texas 75503

PROPOSED CHANGE: Amendment to PD-05-7 (GR) for site plan approval for the construction of fourteen (14) 1,375 sq. ft. duplexes for assisted living

LEGAL DESCRIPTION: on an approximate 4-acre tract (being parts of Tracts 71, 71B, and 71A, 71C), George Brinlee HRS, A-18

CASE NUMBER: Amendment-PD-05-7 DATE MAILED: January 22, 2023

Attachment: Hearing Notice and Application (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)



# SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967  
220 Texas Blvd  
Texarkana TX 75504  
(903) 798-3945  
[www.ci.texarkana.tx.us.org](http://www.ci.texarkana.tx.us.org)

Receipt No. 23 004562Case Amendment to PD-05-7  
Date 11-13-23

To: The Planning and Zoning Commission  
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property.

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Addition: \_\_\_\_\_  
(Or see attached metes and bounds legal description) 4.0 acres See attached Map and Legal

Project location/address: Northeast Corner of Roundabout Way 1 Roundabout Way

Present zoning: PD-GR Proposed zoning (if applicable) \_\_\_\_\_

Proposed use: Assisted Living Independent Housing

Total square footage of proposed building: 1375 per unit Number of parking spaces 2 per unit

Number of required parking spaces per Ordinance 2 per unit Handicapped spaces n/a

Material of building façade Brick

SIGNAGE: Type (i.e. monument, pole) \_\_\_\_\_

Size \_\_\_\_\_

Material to be used for structure (if monument style) \_\_\_\_\_

Kayla R. Wood

Attorney or Agent Signature

5930 Summerhill Road

Address

Texarkana, TX 75503

City, State, Zip

903-838-8533

Home Phone &amp; Cell Phone

kwood@mtgengineers.com

Email Address

[Signature]

Property Owner Signature

5440 Summerhill Rd

Address

Texarkana, TX 75503

City, State, Zip

(903) 276-8176

Home Phone &amp; Cell Phone

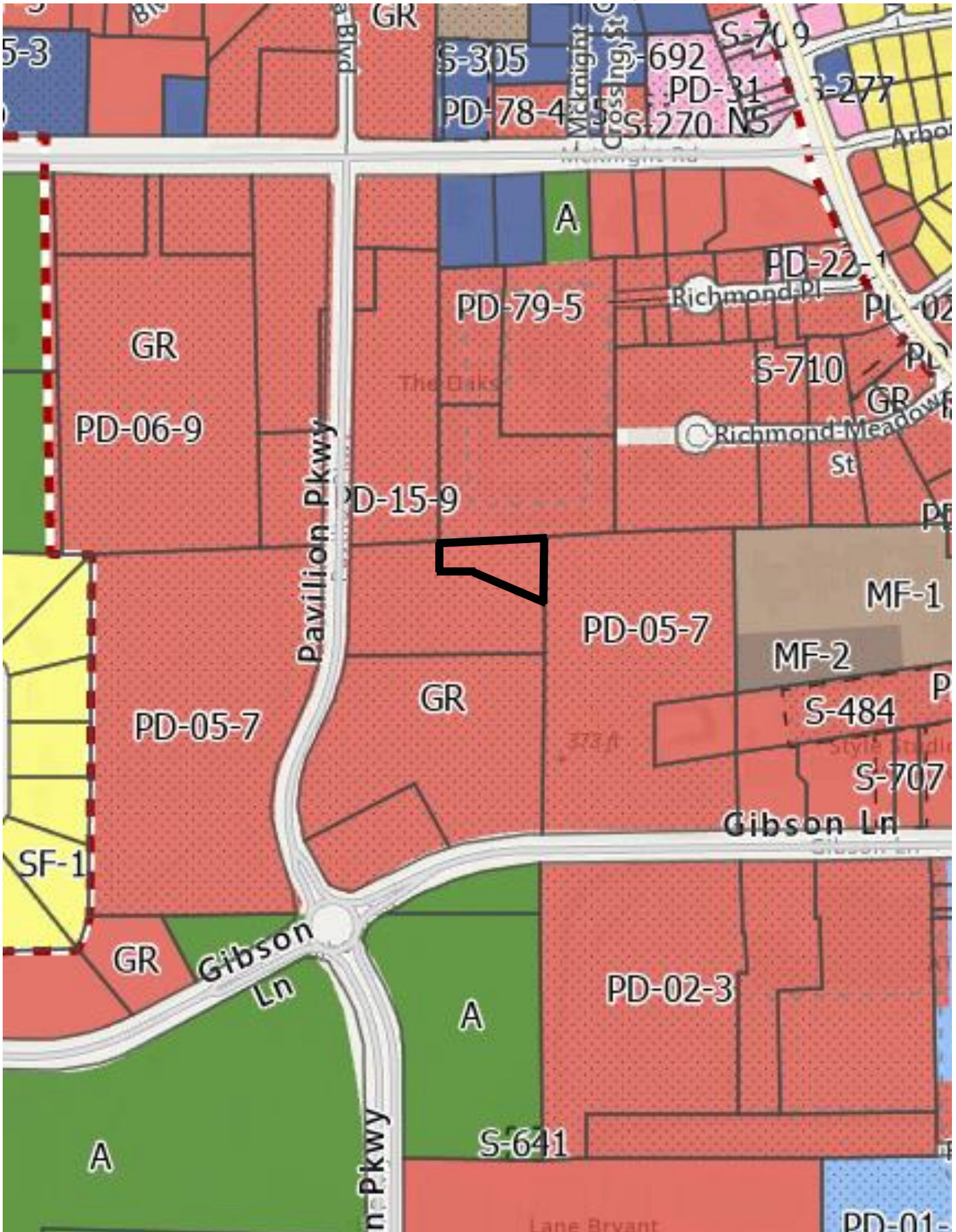
cherex.pruett@lender.com

Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)

# 1 Roundabout Way



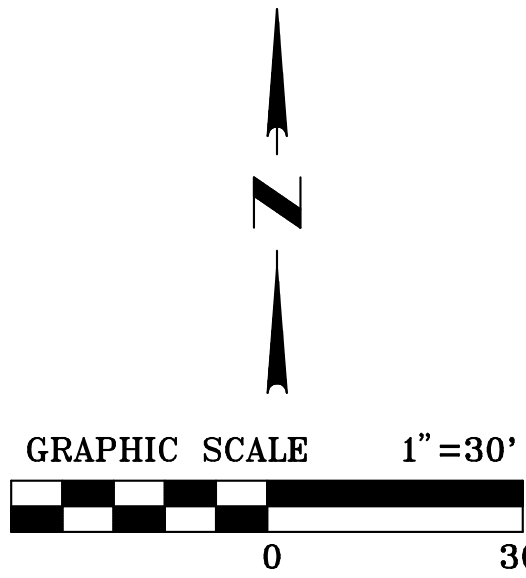
Attachment: Maps (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)

# 1 Roundabout Way

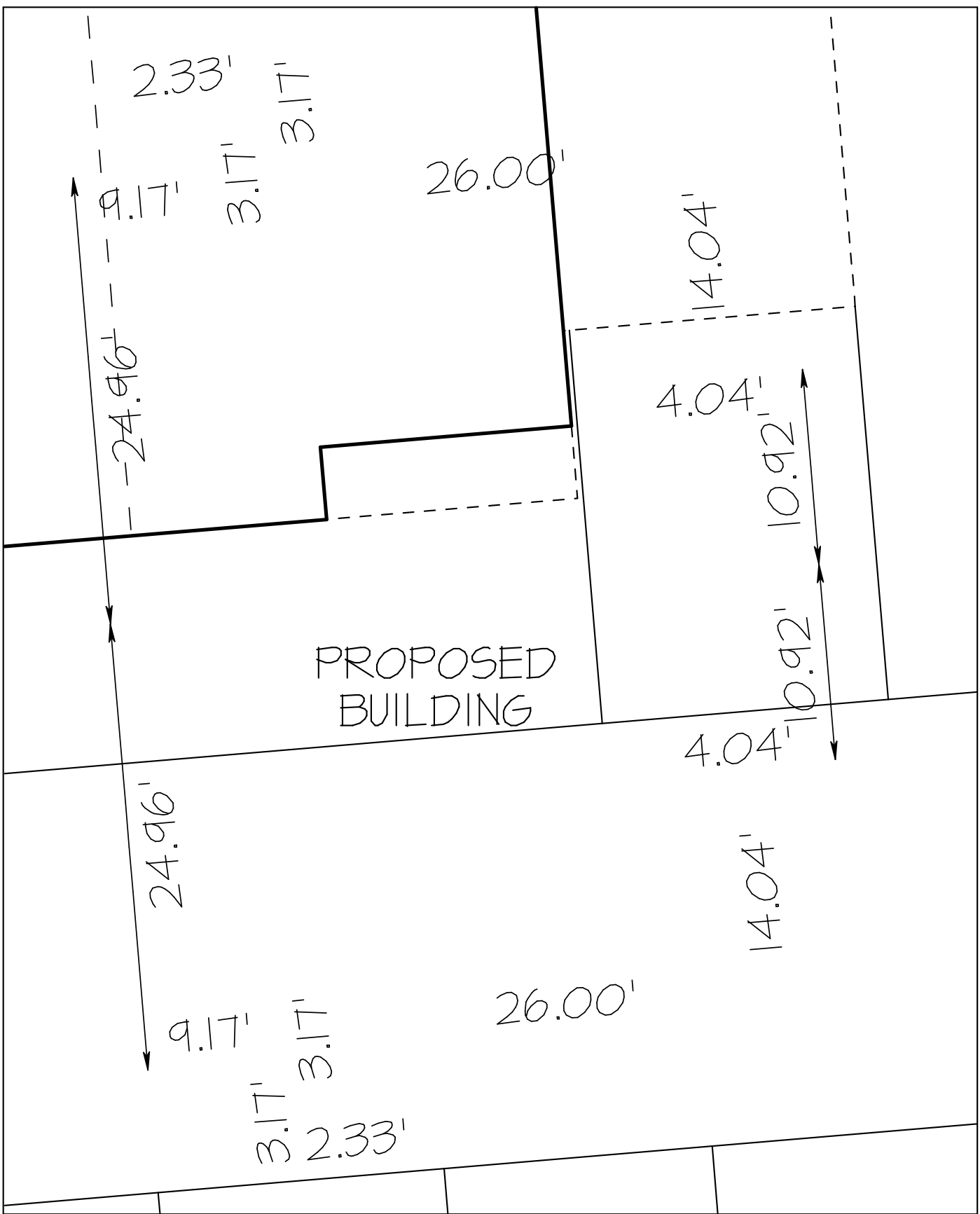


Attachment: Maps (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)

X:\2023 Projects\236099 Duplexes on Roundabout Way - Blake Rich\05 Engineering Design\Design\_03\kwp.pro  
Fri Jan 19, 2024 3:23PM



| LEGEND |                      |  |                       |  |                                   |
|--------|----------------------|--|-----------------------|--|-----------------------------------|
|        | PROPERTY LINE        |  | WATER MAIN            |  | POWER POLE                        |
|        | CURB AND GUTTER      |  | SANITARY SEWER MAIN   |  | WATER METER                       |
|        | BUILDING EDGE        |  | TELEPHONE LINE        |  | WATER VALVE                       |
|        | EDGE OF PAVEMENT     |  | PROPOSED CONTOUR INT. |  | CLEAN OUT                         |
|        | EASEMENT             |  | EXISTING CONTOUR INT. |  | SANITARY SEWER MANHOLE            |
|        | BUILDING LINE OFFSET |  | SILT FENCE            |  | STORM DRAIN MANHOLE               |
|        | TOE OF DITCH/SLOPE   |  | STORM DRAIN           |  | SIGN (TYPICAL)                    |
|        | TOP OF BANK          |  | FIRELANE              |  | HANDICAP PARKING SYMBOL (PAINTED) |
|        | OVERHEAD POWER LINE  |  | SPOT ELEVATION        |  | FIRE HYDRANT                      |
|        |                      |  |                       |  | LIGHT POLE                        |
|        |                      |  |                       |  | GAS REGULATOR                     |
|        |                      |  |                       |  | IRRIGATION CONTROL VALVE          |
|        |                      |  |                       |  | SPRINKLER HEAD                    |
|        |                      |  |                       |  | ROOF DRAIN                        |
|        |                      |  |                       |  | TELEPHONE JUNCTION BOX            |
|        |                      |  |                       |  | ELECTRIC JUNCTION BOX             |
|        |                      |  |                       |  | GUY WIRE                          |
|        |                      |  |                       |  | TREE                              |



TYPICAL BUILDING DIMENSIONS

GENERAL SITE NOTES

- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PLANNED UTILITIES BEFORE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION WITHIN RIGHT-OF-WAY. ALL WORK WITHIN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH APPROVED PERMIT.
- BUILDING DIMENSIONS SHOWN ON THESE PLANS ARE OUTSIDE FOUNDATION/SLAB LINES. CONTRACTOR SHALL COORDINATE AND VERIFY DIMENSIONS WITH ARCHITECTURAL PLANS. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE SITE PLANS AND ARCHITECTURAL PLANS, THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED.
- DIMENSIONS SHOWN ARE FROM BACK OF CURB AS APPLICABLE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY OBSTRUCTIONS SUCH AS EXISTING STRUCTURES, FENCES, DEBRIS, OR TREES ON SITE, AND SHALL COORDINATE ALL REMOVAL WITH THE GENERAL CONTRACTOR. NO TREES OR OTHER ITEMS SHALL BE REMOVED WITHOUT THE APPROVAL OF THE ARCHITECT, ENGINEER, AND OWNER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES.

SITE PLAN

DUPLEXES  
TEXARKANA, TEXAS  
PROJECT CLIENT

Drawing Date  
1/19/2024

Project Number  
236099

Sheet Number  
C2

5830 SUMMERHILL ROAD  
TEXARKANA, TEXAS  
P 903.838.8533  
www.mtgengineers.com  
TBE FIRM NO. F-354  
AR COA NO. 125  
© MTG 2023

**MTG**  
ENGINEERS  
& SURVEYORS

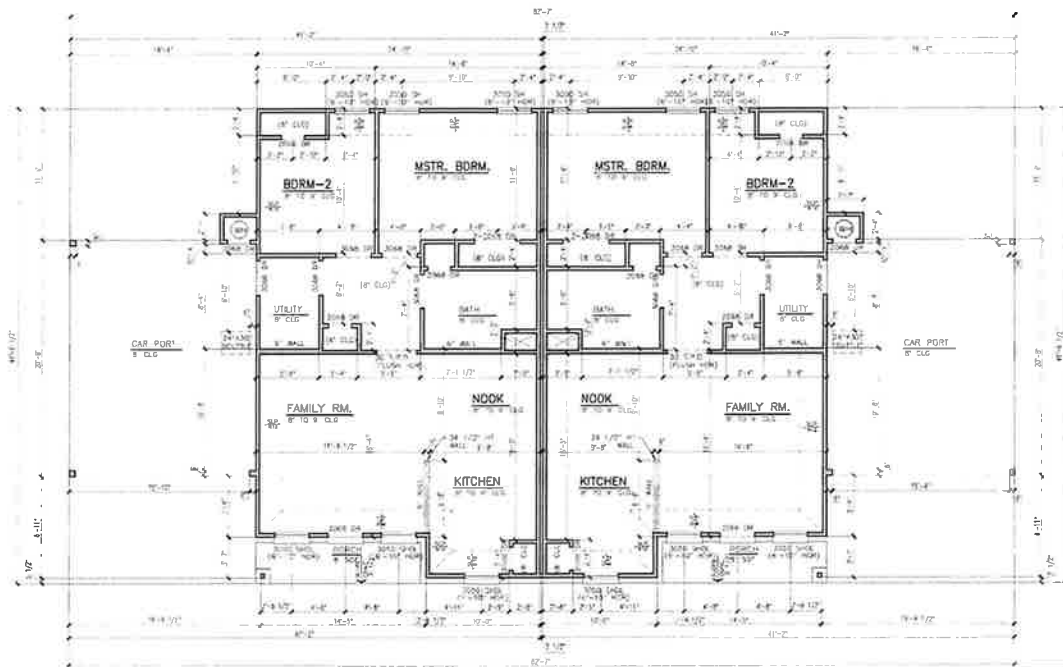
PRELIMINARY ~ FOR  
REVIEW ONLY, NOT  
INTENDED FOR  
BIDDING,  
CONSTRUCTION OR  
PERMIT PURPOSED  
1/19/2024  
KAYLA R. WOOD  
P.E. #104859

|            |          |
|------------|----------|
| Scale      | AS SHOWN |
| Drawn By   | D.M.C.   |
| Checked By | K.R.W.   |
| File No.   |          |

Attachment: Revised Site Plan (4176 - Amendment to Pd-057 site plan approval at 1 Roundabout Way)

2024-007 ATTH 02

Amendment to PD-05-7



| SQUARE FOOTAGES   |      |
|-------------------|------|
| First Floor       | 385  |
| Total Living Area | 1545 |
| Car Port          | 338  |
| Patios            | 32   |
| Stairs            | 0    |
| Total Under Build | 1915 |

FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

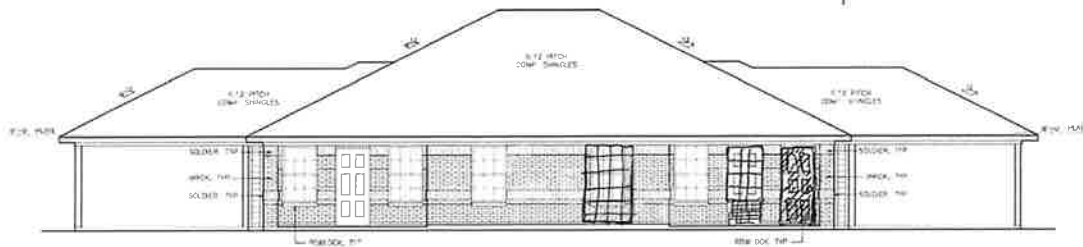
| SQUARE FOOTAGES   |      |
|-------------------|------|
| First Floor       | 385  |
| Total Living Area | 1545 |
| Car Port          | 338  |
| Patios            | 32   |
| Stairs            | 0    |
| Total Under Build | 1915 |

| TOTAL BLDG SQUARE FOOTAGES |      |
|----------------------------|------|
| First Floor                | 1915 |
| Total Living Area          | 1545 |
| Car Port                   | 338  |
| Patios                     | 32   |
| Stairs                     | 0    |
| Total Under Build          | 2760 |

TAYLOR & TAYLOR DEVELOPMENT  
ASSISTED LIVING

FRAMING  
CONCRETE  
1.1

Attachment: Floorplan (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)



FRONT ELEVATION - A  
SCALE 1/8" = 1'-0"



REAR ELEVATION  
SCALE 1/16" = 1'-0"



LEFT SIDE ELEVATION  
SCALE 1/16" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE 1/16" = 1'-0"

For complete drawings see sheets  
2.1, 2.2, 2.3, 2.4, 2.5, 2.6, 2.7, 2.8,  
2.9, 3.0, 3.1, 3.2, 3.3, 3.4, 3.5, 3.6,  
3.7, 3.8, 3.9, 4.0, 4.1, 4.2, 4.3, 4.4,  
4.5, 4.6, 4.7, 4.8, 4.9, 5.0, 5.1, 5.2,  
5.3, 5.4, 5.5, 5.6, 5.7, 5.8, 5.9, 6.0,  
6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7, 6.8,  
6.9, 7.0, 7.1, 7.2, 7.3, 7.4, 7.5, 7.6,  
7.7, 7.8, 7.9, 8.0, 8.1, 8.2, 8.3, 8.4,  
8.5, 8.6, 8.7, 8.8, 8.9, 9.0, 9.1, 9.2,  
9.3, 9.4, 9.5, 9.6, 9.7, 9.8, 9.9, 10.0

TAYLOR & TAYLOR DEVELOPMENT  
ASSISTED LIVING

FRAMIN  
CONCRE  
2.1

Attachment: Elevations (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)

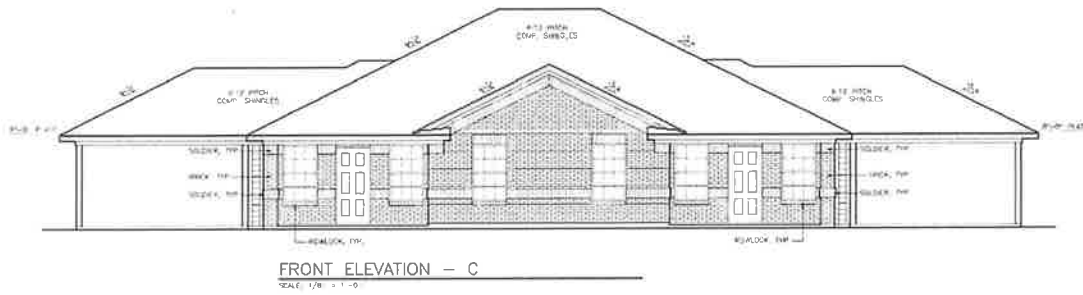


The designer warrants to the City of Franklin that the drawings are a true and accurate representation of the design and construction of the project as shown on the drawings. The designer shall be responsible for obtaining all necessary permits and approvals for the project.

TAYLOR & TAYLOR DEVELOPMENT  
ASSISTED LIVING

FRAMING  
CONCRETE  
2.1

Attachment: Elevations (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)



For Review: Please do not  
make any changes to this  
drawing without the approval  
of the City of Taylor. The  
drawing is intended for use  
only for the project shown  
on the site plan. The drawing  
is not to be used for any  
other purpose.

TAYLOR & TAYLOR DEVELOPMENT  
ASSISTED LIVING

TRIM/  
FINISH-O  
2.2

Attachment: Elevations (4176 : Amendment to Pd-05-7 site plan approval at 1 Roundabout Way)

## City of Texarkana, Texas

Version:

Update Date: 2/1/2024 9:27 AM

## Summary Sheet

**Lead Department:** Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator  
**Subject:** Ordinance No. 2024-021 amending the Zoning Code, Chapter 140, Article VII by adding Section 140-182, "Telecommunications Tower & Stealth Telecommunications Tower", and adding corresponding definitions to Section 140-179 and "Utility and Service Uses" to Section 140-81(b).

**Meeting Date:** 2/5/2024

## Attachments

- a. 2024-021 ORD cell towers for PZ (DOCX)

## Staff Coordination

|                              |                    |                        |                        |
|------------------------------|--------------------|------------------------|------------------------|
| City Manager                 | Jennifer Evans     | Department Head Review | Pending                |
| Building Code Administration |                    | Mashell Daniel         | Department Head Review |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    |                        | Department Review      |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    | Laura Puckett          | Meeting                |
|                              | 02/05/2024 6:00 PM |                        | Pending                |

## Updates/History of Briefing:

NOT APPLICABLE

## Executive Summary and Background Information:

See attached ordinance.

## Potential Options:

Approve or deny

## Fiscal Implications:

NOT APPLICABLE

## Staff Recommendation:

Staff Recommends for approval.

## Advisory Board/Committee Review:

Planning and Zoning Commission

**City of Texarkana, Texas****Board/Committee Recommendation:**

NOT APPLICABLE

**Advisory Board/Committee Meeting Date and Minutes:**

February 5, 2024

## Telecommunications and Stealth Telecommunications Towers

### Section 140-179 definitions:

*Telecommunications tower* (“tower”) means a facility, including self-supporting lattice towers, guy towers or monopole towers, but not including stealth communication towers, designed to support one or more antennas and to contain ancillary facilities designed and used for the purpose of transmitting, receiving, and relaying voice, data, and other similar signals to or from various wireless communication devices; provided, however, that a *telecommunication tower* shall not be defined to include the following: “Radio, television, or microwave towers”; amateur radio transmission facilities not used for commercial purposes; or facilities used exclusively for the transmission of television and radio signals.

*Stealth telecommunications tower* (“stealth tower”) means a facility that is designed in such a way that the facility is not readily recognizable as a *telecommunications tower* or telecommunications equipment. By way of example and not limitation, *stealth towers* may include the following: totally enclosed antennas; wireless facilities that replicate, duplicate, or simulate the construction of common structures such as flagpoles, signs, monopoles with totally enclosed antennas, or light poles and that serve as a function of the use or uses of the site; or camouflaged wireless facilities that are constructed to blend into the surrounding environment.

### **Sec. 140-182. - Telecommunications Tower and Stealth Telecommunications Tower.**

- (a) Location, placement, and distance.
  - (1) Use and Zoning Districts. Subject to the requirements of this section, land use for a Telecommunications tower (“tower”) and Stealth telecommunications tower (“stealth tower”) is a use by right in zoning districts P, O, GR, LC, CB, C, I-1, and I-2, but shall only be allowed by specific use permit in zoning districts A and NS. Towers and stealth towers shall not be allowed in any residential zoning districts.
  - (2) Setbacks. Towers and stealth towers shall be setback either a minimum of five hundred feet (500’) or two feet for each foot in height, whichever is greater, from a one-family, two-family, or multifamily district or from any residential zoning or residential use.
  - (3) Distance from other towers or stealth towers. A minimum of a half-mile (or 2,640 feet) shall be required between each and every tower or stealth tower.
  - (4) The Board of Adjustment (*see* section 140-342, *et seq.*) shall not have authority to grant variances to the requirements of this subsection.
- (b) Application for placement approval; design plan.
  - (1) Application; general requirements. A property owner desiring to locate a tower or stealth tower as authorized by 140-182(a)(1) shall submit an application to the Inspections Department with authorizations and

information required by this section and a performance bond and removal bond as required by section (g).

- (2) Owner or agent authorization. The property owner or agent of the property owner shall sign the application. An agent of the property owner must be authorized by power of attorney or other notarized document granting the agent both the authority to represent the property owner and the authority to use the specific land for siting of a tower or stealth tower.
  - a. The application shall include a plan or plans containing the following: The metes and bounds legal description of the entirety of the owner's property where the tower or stealth tower is proposed to be located.
  - b. The metes and bounds of the specific area within the owner's property where the tower or stealth tower and ancillary facilities are to be located.
  - c. A drawing or drawings to scale of the following:
    - i. location and height of the tower or stealth tower, including all ancillary facilities;
    - ii. tower or stealth tower proximity to all buildings and other structures on both the owner's property and on adjacent properties;
    - iii. compliance with setback and distance requirements contained in 140-182(a)(2) and 140-182(a)(3); and
    - iv. landscaping plan for the site of the tower or stealth tower, showing existing and proposed topography, existing and proposed fencing and finished color, method of camouflage and illumination, and irrigation methods (type, spacing, and size). Applicable to stealth towers only, the drawing or drawings should demonstrate designs for an appearance that blends with the surrounding landscape; and acceptable designs include trees, flagpoles, or other appearances as approved by the Chief Building Official or Zoning Administrator.
  - d. A visual depiction or simulation of the proposed tower or stealth tower and ancillary facilities, to scale, in the existing natural or built environment for both day and night views, depicting all written warnings, markings, and lighting as may be proposed or otherwise required by law or regulations, and from the points-of-view of closest public street, closest occupied structure, aerial view, and any other location

- specified by the Chief Building Official or Zoning Administrator.
- e. Engineering plans certified by a Texas registered professional engineer to include, with respect to the proposed tower or stealth tower, wind loads, foundation design, structural analysis, and capacity in terms of the number and types of antennae to be placed or accommodated.
  - f. A system plan to include the following: rationales for the particular location, design, and height of the tower or stealth tower; the provider's telecommunication facilities presently constructed or approved; and a map indicating the provider's current coverage for the City and the projected coverage change with construction of the tower or stealth tower.
- (c) Construction requirements.
- (1) All towers or stealth towers shall be of monopole construction, shall meet FCC and FAA guidelines, and shall comply with the current building codes adopted by the City.
  - (2) Towers and stealth towers shall not be illuminated by artificial means or display strobe lights or other warning lighting unless required by the Federal Aviation Administration or any other federal, state or city law, rule or regulation. Any lighting shall be shielded or directed so as not to project directly onto property zoned residential or any residential use; and light fixtures used to illuminate ancillary facilities, sports facilities, parking or storage areas, or other similar areas may be attached to a tower or stealth tower only when incorporated into the approved design.
  - (3) Any new tower must be constructed to support a minimum of two separate antenna arrays and at least one additional antenna for every fifteen feet (15') or fraction thereof above sixty feet (60') in height and provide the ground space for any equipment necessary for the operation of additional antenna.
  - (4) Any new stealth tower must be able to support at least one additional antenna for every fifteen feet (15') or fraction thereof above sixty feet (60') in height and provide the ground space for any equipment necessary for the operation of additional antenna.
- (d) Landscaping and screening requirements.
- (1) All towers or stealth towers and ancillary facilities must have an eight-foot (8') solid screening fence or corresponding screening shrubs as described below.
    - a. The screening fence shall be constructed of wood, brick, stone, or reinforced concrete.
    - b. Screening shrubs shall be installed around a fence and screen from view the associated structures. All screening shrubs shall be a minimum of three feet (3') in height at planting, have the potential to grow to a mature height of a minimum of six feet (6') in three years and must have a permanently installed irrigation system that provides total water coverage to all plant materials. The vegetation shall always be kept in an attractive state and in good condition.

The preservation of mature trees on the existing lot may be proposed as an alternative for screening shrubs.

- (2) Outdoor storage of vehicles, materials, or equipment is prohibited. Outside parking of vehicles or equipment is prohibited unless such is being used by an authorized person on site in direct support of the tower or stealth tower and ancillary facilities.
  - (3) Unless expressly required by federal or state laws, rules, or regulations, or unless otherwise disclosed and approved in the visual depiction submitted pursuant to 140-182(b)(2)(e), banners, signs, moving objects, or other attention devices are prohibited on the tower or stealth tower and ancillary facilities.
- (e) Notice of change in status; removal upon cessation of operation.
- (1) With respect to the normal business operation as proposed of the tower or stealth tower, the property owner or agent of the property owner shall give notice to the Chief Building Official within forty-five (45) days of any of the following: any change in the status of operation; any disconnection of electrical service for more than thirty (30) days; or any cessation for more than thirty (30) days of the use of a tower or stealth tower for the support of active communications antennae.
  - (2) If disconnection of electrical service or cessation of use of all antennae on the tower or stealth tower to transmit, receive, or relay voice and data signals to or from wireless communication devices persists for twelve (12) months, the property owner shall promptly remove the tower or stealth tower (and associated components of the facility) and restore the site to its original condition to a depth of two feet.
  - (3) After notice and opportunity to be heard is provided, the City may remove or cause the removal of a tower or stealth tower (and associated components of the facility) described in subsection (e)(2) of this section and assess the costs of removal, storage, and disposal against the property. The City shall mail to the property owner a notice of the City's intent to remove or cause such removal before taking such action; the property owner may request a hearing before the Board of Adjustment to show cause why the abandoned tower or stealth tower and associated components should not be removed from the property at the expense of the property owner; and the failure by a property owner to request a hearing within thirty (30) days after receipt of notice shall be deemed a failure to exhaust administrative remedies and a waiver of the right to a hearing.
- (f) Exclusions. This section does not apply to the following:
- (1) The UPDD -- section 140-111 of this Code; and
  - (2) Temporary, mobile towers erected under the authority of Chapter 14 of this Code.
- (g) A performance bond shall be required for all new towers and new stealth towers, including relocated towers, where a previous bond has not been accepted, in a form acceptable to the City; a cash deposit may be substituted in lieu of a bond, in an amount sufficient to provide for removal, storage, and disposal of the tower, plus an additional fifteen percent (15%) contingency to restore the site, including stabilization

and re-vegetation as necessary. An estimate of the removal cost from a Texas-licensed company experienced in contracting for removal of standard components shall accompany the bond. Unless the tower or stealth tower is located on property owned by a governmental entity where a guarantee is in place for removal of the tower when no longer in use, a separate bond will be required for each tower regardless of owner(s) or location. All bonds shall provide for the City to collect the full amount of the guarantee if the applicant fails to comply with this section. This subsection shall not apply to a governmental entity or public utility company.

(h) Limited legacy exception. Subsections (a), (b), (c), and (d)(1) shall not apply to legacy towers or stealth towers authorized by a specific ordinance of the City Council adopted prior to enactment of this section.

(i) Penalty. Any person violating or failing to comply with any of the provisions of this section shall, upon conviction, be fined not less than \$500.00 or more than \$2,000.00, and each day any violation or non-compliance continues shall constitute a separate and distinct offense.

## City of Texarkana, Texas

## Summary Sheet

Version:

Update Date: 1/31/2024 2:10 PM

**Lead Department:** Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator

**Subject:** Consider approval of the Planning and Zoning Commission meeting minutes from January 2, 2024.

**Meeting Date:** 2/5/2024

**Attachments**

- a. January 2, 2024 P&Z minutes(PDF)

**Staff Coordination**

|                              |                    |                        |                        |
|------------------------------|--------------------|------------------------|------------------------|
| City Manager                 | Jennifer Evans     | Department Head Review | Pending                |
| Building Code Administration |                    | Mashell Daniel         | Department Head Review |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    |                        | Department Review      |
|                              | Pending            |                        |                        |
| Planning & Zoning Commission |                    | Laura Puckett          | Meeting                |
|                              | 02/05/2024 6:00 PM |                        | Pending                |

**Updates/History of Briefing:**

NOT APPLICABLE

**Executive Summary and Background Information:**

See attached Planning and Zoning Commission meeting minutes from January 2, 2024.

**Potential Options:**

Approve or deny

**Fiscal Implications:**

NOT APPLICABLE

**Staff Recommendation:**

Staff recommends for approval of the January 2, 2024 Planning and Zoning Commission meeting minutes.

**Advisory Board/Committee Review:**

Planning and Zoning Commission

**Board/Committee Recommendation:**

**City of Texarkana, Texas**

NOT APPLICABLE

**Advisory Board/Committee Meeting Date and Minutes:**

February 5, 2024



**CITY OF TEXARKANA**  
**PLANNING & ZONING COMMISSION**  
**MINUTES • JANUARY 2, 2024**

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**Council Chambers**
**Regular Meeting**
**6:00 PM**


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**220 TEXAS BLVD.**  
**TEXARKANA, TX 75501**

**I. CALL TO ORDER**
**II. AGENDA ITEMS**

1. Ordinance No. 2023-151 establishing a Historic Landmark Preservation Ordinance.

Daphne Ryan appeared and stated that the State would like for the City of Texarkana, Texas to have a separate ordinance for the historic district. She went on to say that instead of having a historic committee the State advised the City to form a Commission for the historic district. Ms. Ryan also said that there would be a tax break included in the new ordinance.

|                  |                                           |
|------------------|-------------------------------------------|
| <b>RESULT:</b>   | <b>ADOPTED [UNANIMOUS]</b>                |
| <b>MOVER:</b>    | Dianna Patterson Kinsey, Vice Chairperson |
| <b>SECONDER:</b> | Tom Coleman, Commissioner                 |
| <b>AYES:</b>     | Kinsey, Coleman, Larkins, Northam, Kernek |
| <b>ABSENT:</b>   | Boyette, Bailey, Sarine                   |
| <b>EXCUSED:</b>  | Joyce III                                 |

2. Amendment to PD-01-10 for site plan approval on Lot 1, Texarkana Shopping Center Subdivision located at 4110 St. Michael Drive. Suzanne Russo for Home Depot, owner and Cassie Permenter, agent.

Cassie Permenter appeared and stated that this was going to be an in store remodel to include equipments sales.

|                  |                                           |
|------------------|-------------------------------------------|
| <b>RESULT:</b>   | <b>ADOPTED [UNANIMOUS]</b>                |
| <b>MOVER:</b>    | Wanda Northam, Commissioner               |
| <b>SECONDER:</b> | Dianna Patterson Kinsey, Vice Chairperson |
| <b>AYES:</b>     | Kinsey, Coleman, Larkins, Northam, Kernek |
| <b>ABSENT:</b>   | Boyette, Bailey, Sarine                   |
| <b>EXCUSED:</b>  | Joyce III                                 |

- Amendment to PD-20-6 for site plan approval on Lot 1, Richmond-Moores Subdivision, located at 5605 Richmond Road. GVH Moores, LLC, owner and Kayla Wood, MTG Engineers and Surveyors, agent.

Kayla Wood with MTG Engineers and Surveying appeared and stated that this item was tabled at the December meeting because the elevations were not clear. She included the elevations in this meeting to clear up any misconceptions from the meeting in December.

|                  |                                           |
|------------------|-------------------------------------------|
| <b>RESULT:</b>   | <b>ADOPTED [UNANIMOUS]</b>                |
| <b>MOVER:</b>    | Tom Coleman, Commissioner                 |
| <b>SECONDER:</b> | James Larkins, Commissioner               |
| <b>AYES:</b>     | Kinsey, Coleman, Larkins, Northam, Kernek |
| <b>ABSENT:</b>   | Boyette, Bailey, Sarine                   |
| <b>EXCUSED:</b>  | Joyce III                                 |

### III. STAFF UPDATES

### IV. CONSIDER APPROVAL OF MINUTES

- Consider the Planning and Zoning Commission meeting minutes from December 4, 2023.

|                  |                                           |
|------------------|-------------------------------------------|
| <b>RESULT:</b>   | <b>ADOPTED [UNANIMOUS]</b>                |
| <b>MOVER:</b>    | Dianna Patterson Kinsey, Vice Chairperson |
| <b>SECONDER:</b> | Tom Coleman, Commissioner                 |
| <b>AYES:</b>     | Kinsey, Coleman, Larkins, Northam, Kernek |
| <b>ABSENT:</b>   | Boyette, Bailey, Sarine                   |
| <b>EXCUSED:</b>  | Joyce III                                 |

### V. ADJOURNMENT