



CITY OF TEXARKANA
PLANNING & ZONING COMMISSION
AGENDA • APRIL 1, 2024

Council Chambers	Regular Meeting	6:00 PM
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220 TEXAS BLVD.
 TEXARKANA, TX 75501

Chairperson	Commissioner	Commissioner
Gene Joyce III	James Larkins	Brad Bailey
Vice Chairperson	Commissioner	Alternate Commissioner
Dianna Patterson Kinsey	Wanda Northam	Lee Kernek
Commissioner	Commissioner	Alternate Commissioner
Tom Coleman	Casey Boyette	Ross Sarine

I. CALL TO ORDER

II. AGENDA ITEMS

1. Z-24-3: [TABLED] rezoning on N 250' of Lots 7, 8, 9, and 10, Block 2, Carrie D. Harts 1st, located at 4001 New Boston Road from Commercial-Agriculture to Commercial. F.M. Slack, owner, and Clint Head, agent.
2. Amendment to PD-15-5 for site plan approval on Lot 6, Block 3, John T Spears First Addition, located at 3603 Texas Boulevard. Bradley and Sarah Berry, owners.
3. S-787: Specific Use Permit to allow one additional use of a daycare on Lot 32, Block2, Oaklawn Subdivision, located 2201 N Akin Avenue. Tameka King, owner.
4. Amendment to PD-23-4 for site plan approval a 15.15-acre tract of land (being Tract 81) H.S. Janes HRS, A-306, located at 500 S Bishop Road. Russ Huckaby, owner, and Jess Griffin, agent.

III. STAFF UPDATES**IV. CONSIDER APPROVAL OF MINUTES**

1. Planning and Zoning Commission meeting minutes from March 4, 2024.

V. ADJOURNMENT

This open meeting of a governmental entity is subject to the Texas Open Meetings Act (Chapter 551, Government Code). The "Council Chambers" is the room or property where the Planning and Zoning Commission holds this meeting.

Pursuant to Section 46.035(c), Penal Code (unlawful carrying of handgun by license holder), a license holder commits an offense if the license holder intentionally, knowingly, or recklessly carries a handgun under the authority of Subchapter H, Chapter 411, Government Code, regardless of whether the handgun is concealed or carried in a shoulder or belt holster, in the room or rooms where a meeting of a governmental entity is held and if the meeting is an open meeting subject to Chapter 551, Government Code, and the entity provided notice as required by that chapter.

Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun.

Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.

This meeting is being conducted in accordance with the Americans with Disabilities Act [42 USC 12101 (1991)]. The facility is wheelchair accessible and handicap parking is available. Requests for sign interpretive services are available upon requests received at least 48 hours prior to the meeting. To make arrangements for these services, please call 903.798.3917, Personnel or (TDD) 1.800.RELAY.TX (1.800.735.2989).

City of Texarkana, Texas

Summary Sheet

Version:
Update Date: 3/26/2024 10:23 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Subject: Z-24-3: [TABLED] rezoning on N 250' of Lots 7, 8, 9, and 10, Block 2, Carrie D. Harts 1st, located at 4001 New Boston Road from Commercial-Agriculture to Commercial. F.M. Slack, owner, and Clint Head, agent.

Meeting Date: 4/1/2024

Attachments

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Completed	03/26/2024 10:48 AM	
Planning & Zoning Commission	Mashell Daniel	Department Review
Completed	03/26/2024 10:55 AM	
Planning & Zoning Commission	Laura Puckett	Meeting Pending
	04/01/2024 6:00 PM	

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by F. M. Slack, owner, and Clint Head, agent to rezone on the N 250' of Lots 7-10, Block 2, Carrie D. Harts 1st, located at 4001 New Boston Road from Commercial/Agriculture to Commercial. The intended use is a service station.

The Future Land Use Map has designated this property as "Regional Commercial".

The adjacent zoning is Commercial to the north, and east, Agriculture to the west and south. The adjacent land use is grocery store north, veterinary clinic east, vacant lot west and residence south.

Staff recommends for approval of this request.

The applicant should also be aware that if this zoning change is approved, all other applicable city code/ordinance requirements must be met including but not limited to new drainage ordinance, stormwater design manual, building codes, setbacks,

City of Texarkana, Texas

subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of this request.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

Tabled on March 4, 2024

April 2, 2024

NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3945.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, April 1, 2024 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, May 13, 2024 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@texarkanatexas.gov).



OWNER: F. M. Slack, owner, and Clint Head, agent

OWNER'S ADDRESS: P.O. Box 3367 Durango, Colorado 81302

LOCATION OF REZONING: 4001 New Boston Road, Texarkana, Texas 75501

PROPOSED CHANGE: Build new Murphy Oil Gas Station

ZONING CHANGE FROM: Commercial/Agriculture TO: Commercial

LEGAL DESCRIPTION: N 250' of Lots 7-10, Block 2, Carrie D. Harts 1st

CASE NUMBER: Z-24-3 DATE MAILED: March 20, 2024

Attachment: Hearing Notice and Application (4215 : Z-24-3 rezoning C/A to C at 4001 New Boston Road)



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 24-000511

Case Z-24-3
Date 2-12-24

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property.

Lot: PO Lots 7,8,9 & 10 Block: 2 Addition: Carrie D Hart 1st Addition
(Or see attached legal description) See attached legal description

Location: 4001 New Boston Road, Texarkana, TX

Present Zoning: A - Agricultural District & C - Commercial District

Proposed Zoning: C - Commercial District

If the Zoning Classification is changed by the Commission, this property will be used as:

Murphy Oil Gas Station

Describe the changed conditions, if any, occurring since the original zoning, which affect your property and which justify rezoning:

Growth and development in the areas surrounding the property, most specifically the Wal-Mart

Supercenter directly across the street would justify rezoning the property from agricultural to

commercial.

Clint Head
Attorney or Agent Signature

1202 Crossland Ave

Address

Clarksville, TN

City, State, Zip

931-645-2524

Home Phone & Cell Phone

clint@younghobbs.com

Email Address

F.M. Slack
Property Owner Signature

PO Box 3367

Address

Durango, CO 81302

City, State, Zip

970-385-4631 615-476-2627 cell

Home Phone & Cell Phone

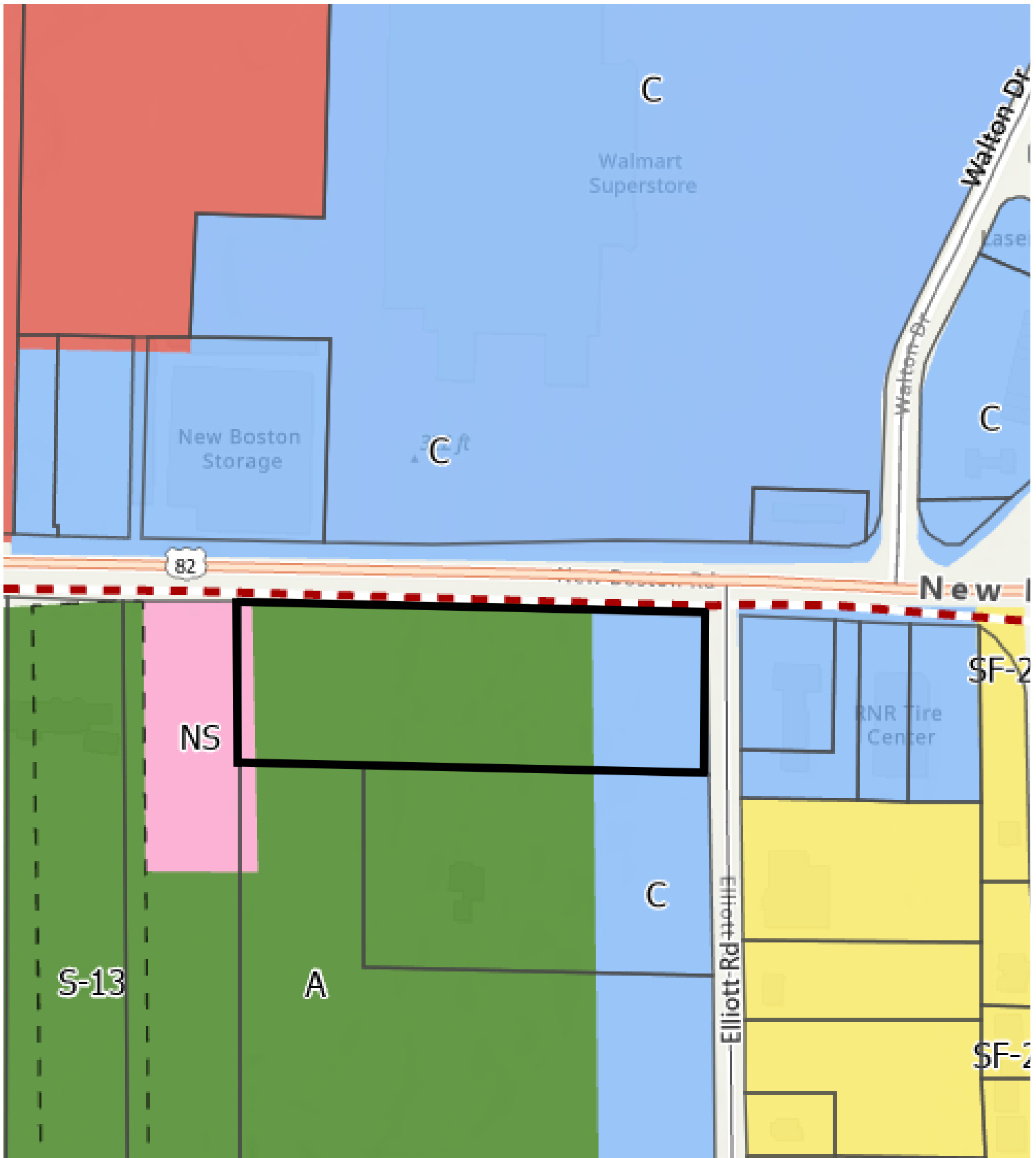
jlockwoodj@bresnan.net

Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4215 : Z-24-3 rezoning C/A to C at 4001 New Boston Road)

4001 New Boston Road



Attachment: Maps (4215 : Z-24-3 rezoning C/A to C at 4001 New Boston Road)

4001 New Boston Road



Attachment: Maps (4215 : Z-24-3 rezoning C/A to C at 4001 New Boston Road)

City of Texarkana, Texas

Version:

Update Date: 3/26/2024 10:26 AM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Amendment to PD-15-5 for site plan approval on Lot 6, Block 3, John T Spears First Addition, located at 3603 Texas Boulevard. Bradley and Sarah Berry, owners.

Subject: owners.

Meeting Date: 4/1/2024

Attachments

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)
- c. Site Plan (PDF)
- d. Elevations (PDF)
- e. TWU 3603 Texas Blvd memo1 (DOCX)
- f. Floorplans (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Completed	03/26/2024 10:52 AM	
Planning & Zoning Commission	Mashell Daniel	Department Review
Completed	03/26/2024 10:55 AM	
Planning & Zoning Commission	Laura Puckett	Meeting Pending
	04/01/2024 6:00 PM	

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Bradley and Sarah Berry, owners, for site plan approval on Lot 6, Block 3, John T. Spears First Addition, located at 3603 Texas Boulevard. The current zoning is Planned Development-General Retail. The property is currently vacant property. The proposed use is a Certified Public Accounting office.

The Future Land Use Map designates this property as "Neighborhood Retail".

The adjacent zoning is Planned Development-Office to the north, south, and east, and Single Family-2 to the west. The adjacent land use is residential to the north and west, an office to the south and east.

The site plan consists of the following:

City of Texarkana, Texas

1. The construction of a 6,891 sq ft building.
2. The access driveway will be off Texas Boulevard. Any changes to the driveway on Texas Boulevard will require TXDOT approval.
3. There will be 27 parking spaces and includes 2 handicapped spaces. All parking spaces shall be a minimum of 180 sq. ft. in size.
4. A 5'X6' monument style sign. No Electronic messaging will be allowed.
5. Development must meet Drainage Ordinance and Stormwater Manual Design Standards.
6. Must meet Ordinance regarding sidewalk along Texas Boulevard. Need TXDOT approval for Texas Boulevard right-of-way. Contact Tommy Bruce.
7. Screened dumpster site.
8. See attached Texarkana Water Utilities comments.

Staff recommends for approval of the site plan with stipulations.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of the site plan with stipulations.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

April 1, 2024

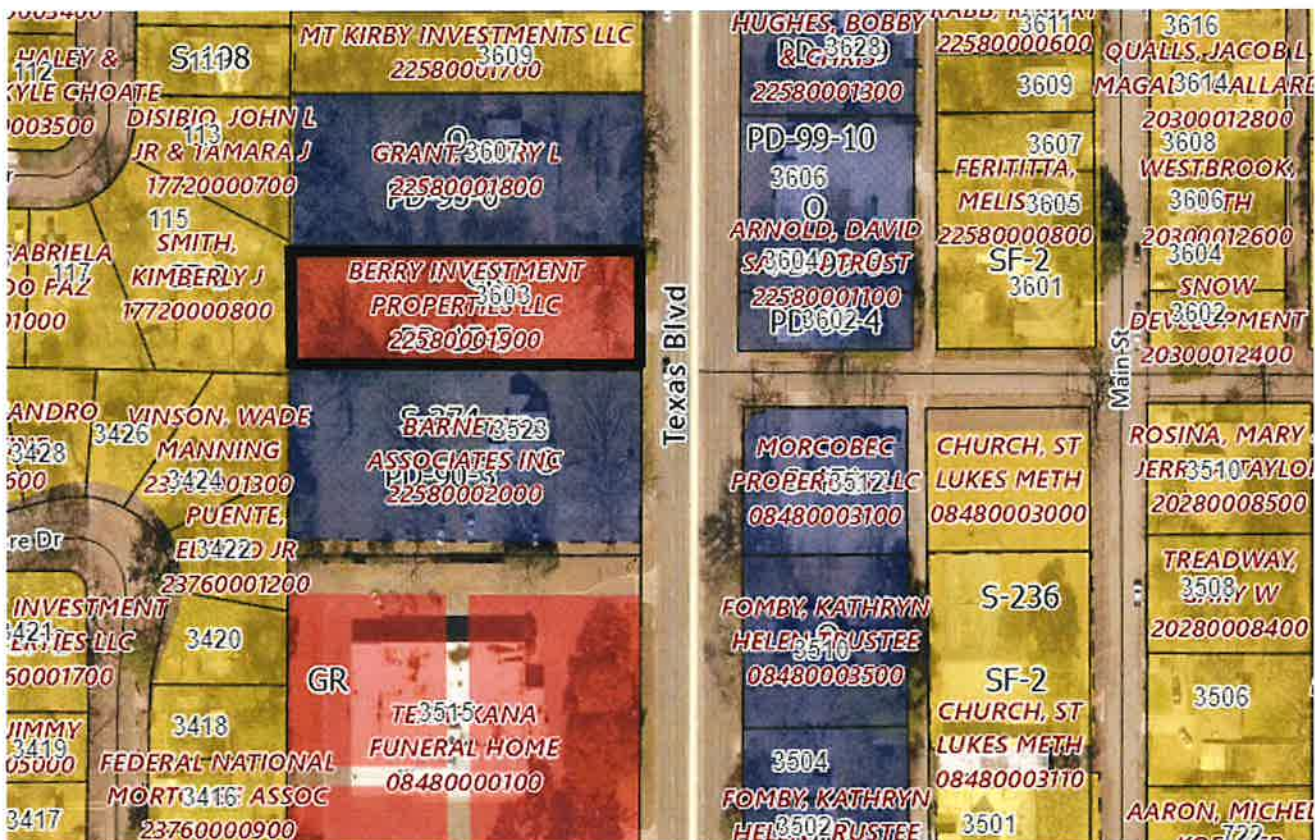
NOTICE OF PUBLIC HEARINGS

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PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, April 1, 2024 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, May 13, 2024 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@texarkanatexas.gov).



OWNER: Bradley and Sarah Berry, owners

OWNER'S ADDRESS: 1208 Pine Street, Texarkana, Texas 75501

LOCATION OF REZONING: 3603 Texas Boulevard, Texarkana, Texas 75503

PROPOSED CHANGE: Amendment to PD-15-5 (GR) for site plan approval for the construction of CPA office

LEGAL DESCRIPTION: Lot 6, Block 3, John T Spears First Addition

CASE NUMBER: Amendment-PD-15-5 DATE MAILED: March 20, 2024

Attachment: Hearing Notice and Application (4216 : Amendment to PD-15-5 Site Plan approval 3603 Texas Blvd)



SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

220 Texas Blvd
Texarkana TX 75501
(903) 798-3945

www.ci.texarkana.tx.us.org

Receipt No. 24-000 868

Case PD-15-5 (GR)

Date 3-7-24

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property.

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: 6 Block: 3 Addition: John T Spears First Addition
(Or see attached metes and bounds legal description)

Project location/address:
3603 Texas Blvd Texarkana, TX

Present zoning: General Retail Proposed zoning (if applicable) _____

Proposed use: Accountant - Professional Office Spaces

Total square footage of proposed building 6,891 Number of parking spaces 27

Number of required parking spaces per Ordinance 23 Handicapped spaces 2

~~Material to be used for structure~~

SIGNAGE: Type (i.e. monument, pole) Monument

Size 5' x 6'

Material to be used for structure (if monument style) Brick, Mortar, Concrete

Attorney or Agent Signature _____

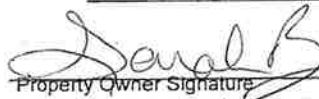
Printed Name: _____

Address _____

City, State, Zip _____

Home Phone & Cell Phone _____

Email Address _____


Property Owner Signature

Printed Name Bradley & Sarah Berry
Berry Investment Properties, LLC
1208 Pine Street

Address _____

Texarkana, TX 75501

City, State, Zip _____

903-949-6882 (Sarah work)
903-701-4168 (Bradley cell)

Home Phone & Cell Phone _____

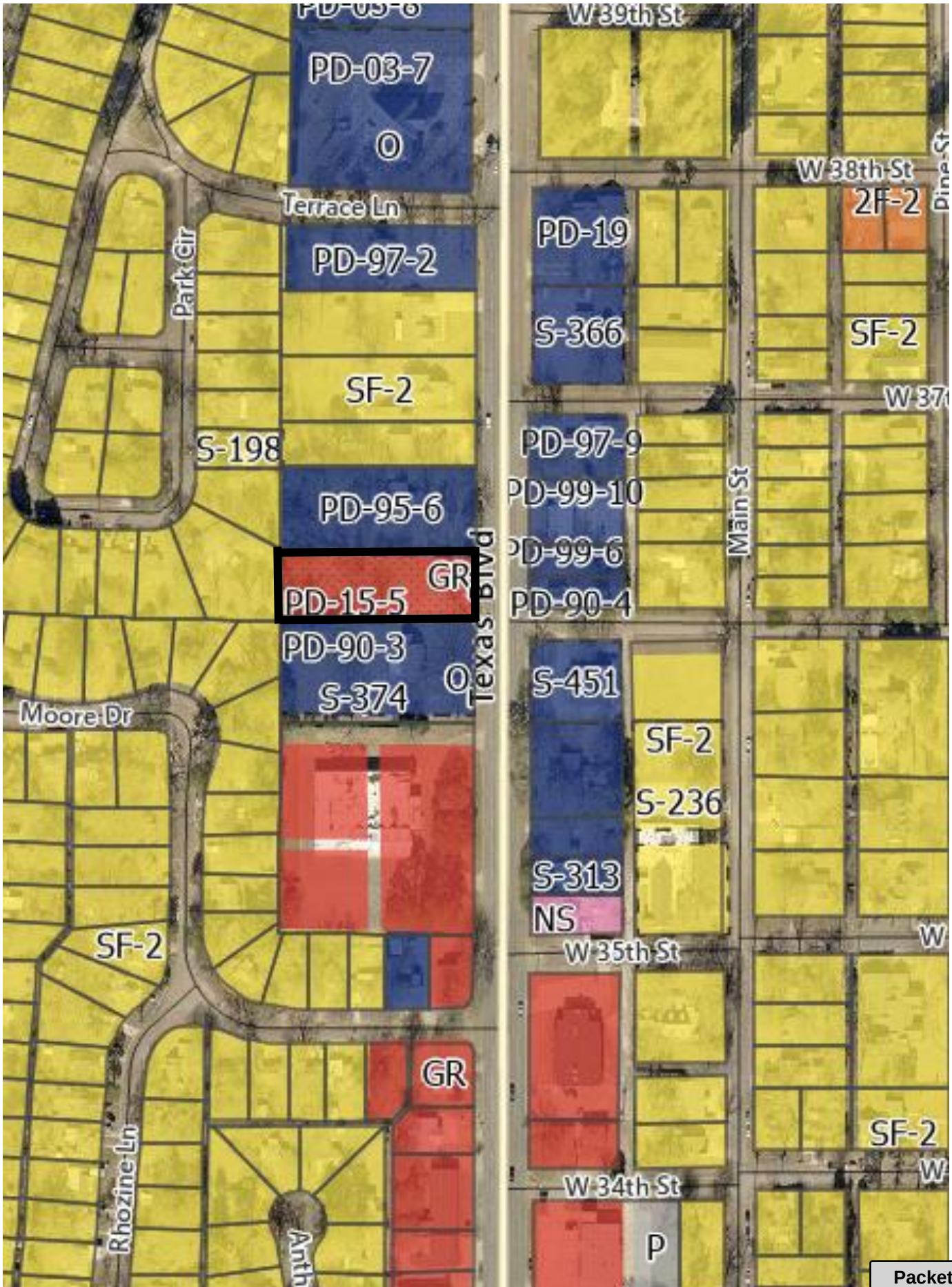
bkberry1186@gmail.com
sarah@sarahberrycpa.com

Email Address _____

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4216 : Amendment to PD-15-5 Site Plan approval 3603 Texas Blvd)

3603 Texas Boulevard



3603 Texas Boulevard



X:\2024 Projects\246009 Sarah Berry CPA Office\05 Engineering Design\Design_02.pro
Thu Mar 14, 2024 2:49PM

JOHN L JR & TAMARA J DISIBIO
LOT 7, BLOCK 1
PARK TERRACE ADDITION
VOLUME 204, PAGES 371-373
PLAT RECORDS
BOWIE COUNTY, TEXAS

KIMBERLY J SMITH
LOT 8, BLOCK 1
PARK TERRACE ADDITION
VOLUME 204, PAGE 371
PLAT RECORDS
BOWIE COUNTY, TEXAS

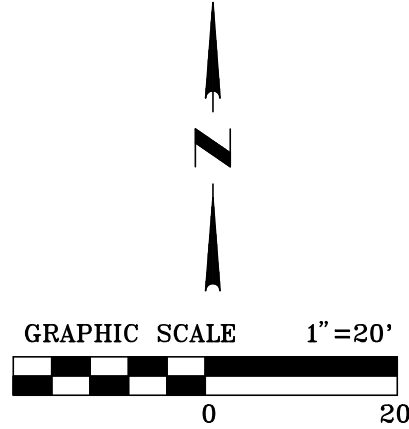
WADE MANNING VINSON
LOT 13, BLOCK 1
SUSSEX DOWNS ADDITION
VOLUME 40, PAGE 322
PLAT RECORDS
BOWIE COUNTY, TEXAS

BERRY INVESTMENT PROPERTIES LLC
JT SPEARS ADDITION
LOT 6, BLOCK 3
VOLUME 40, PAGE 142
PLAT RECORDS
BOWIE COUNTY, TEXAS
29005.85 SQ. FT.
0.666 ACRES

BARNETTE ASSOCIATES INC
LOT 7, BLOCK 3
JT SPEARS ADDITION
VOLUME 204, PAGE 170
PLAT RECORDS
BOWIE COUNTY, TEXAS

TERRY L GRANT
LOT 5, BLOCK 3
JT SPEARS ADDITION
VOLUME 204, PAGE 170
PLAT RECORDS
BOWIE COUNTY, TEXAS

Amendment to PD-15-5



LEGEND

---	PROPERTY LINE
---	CURB AND GUTTER
---	BUILDING EDGE
---	EDGE OF PAVEMENT
---	EASEMENT
---	BUILDING LINE OFFSET
---	TOE OF DITCH/SLOPE
---	TOP OF BANK
---	OVERHEAD POWER LINE
---	MATER MAIN
---	SANITARY SEWER MAIN
---	TELEPHONE LINE
---	PROPOSED CONTOUR INT.
---	EXISTING CONTOUR INT.
---	SILT FENCE
---	STORM DRAIN
---	FIRE LANE
---	SPOT ELEVATION
---	POWER POLE
---	MATER METER
---	MATER VALVE
---	CLEAN OUT
---	SANITARY SEWER MANHOLE
---	STORM DRAIN MANHOLE
---	SIGN (TYPICAL)
---	HANDICAP PARKING SYMBOL (PAINTED)
---	FIRE HYDRANT
---	LIGHT POLE
---	GAS REGULATOR
---	IRRIGATION CONTROL VALVE
---	SPRINKLER HEAD
---	ROOF DRAIN
---	TELEPHONE JUNCTION BOX
---	ELECTRIC JUNCTION BOX
---	GUY WIRE
---	TREE

SITE PLAN DATA:
LOT SIZE: 0.67 ACRES
BLDG SIZE: 6,841 SF
PARKING: 1 SPACE/ 300 SF
REQ'D: 28 SPACES
PROVIDED: 21 SPACES
(2 ADA SPACES)
NO PROP DUMPSTER

GENERAL SITE NOTES

- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PLANNED UTILITIES BEFORE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION WITHIN RIGHT-OF-WAY. ALL WORK WITHIN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH APPROVED PERMIT.
- BUILDING DIMENSIONS SHOWN ON THESE PLANS ARE OUTSIDE FOUNDATION/SLAB LINES. CONTRACTOR SHALL COORDINATE AND VERIFY DIMENSIONS WITH ARCHITECTURAL PLANS. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE SITE PLANS AND ARCHITECTURAL PLANS, THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED.
- DIMENSIONS SHOWN ARE FROM BACK OF CURB AS APPLICABLE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY OBSTRUCTIONS SUCH AS EXISTING STRUCTURES, FENCES, DEBRIS, OR TREES ON SITE, AND SHALL COORDINATE ALL REMOVAL WITH THE GENERAL CONTRACTOR. NO TREES OR OTHER ITEMS SHALL BE REMOVED WITHOUT THE APPROVAL OF THE ARCHITECT, ENGINEER, AND OWNER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC, DURING ALL CONSTRUCTION PHASES.

5830 SUMMERHILL ROAD
TEXARKANA, TEXAS
P 903.838.6533
www.mtgengineers.com
TBE FIRM NO. F-354
AR COA NO. 125
© MTG 2024

MTG
ENGINEERS
& SURVEYORS

PRELIMINARY ~ FOR
REVIEW ONLY, NOT
INTENDED FOR
BIDDING,
CONSTRUCTION OR
PERMIT PURPOSES
3/14/2024
VANCE F. LILES
P.E. #131529

Scale
AS SHOWN
Drawn By
A.M.G.
Checked By
V.F.L.
File No.

SITE PLAN

SARAH BERRY
CPA OFFICE
3603 TEXAS BLVD
TEXARKANA, TEXAS
SARAH BERRY

Drawing Date
3/14/2024

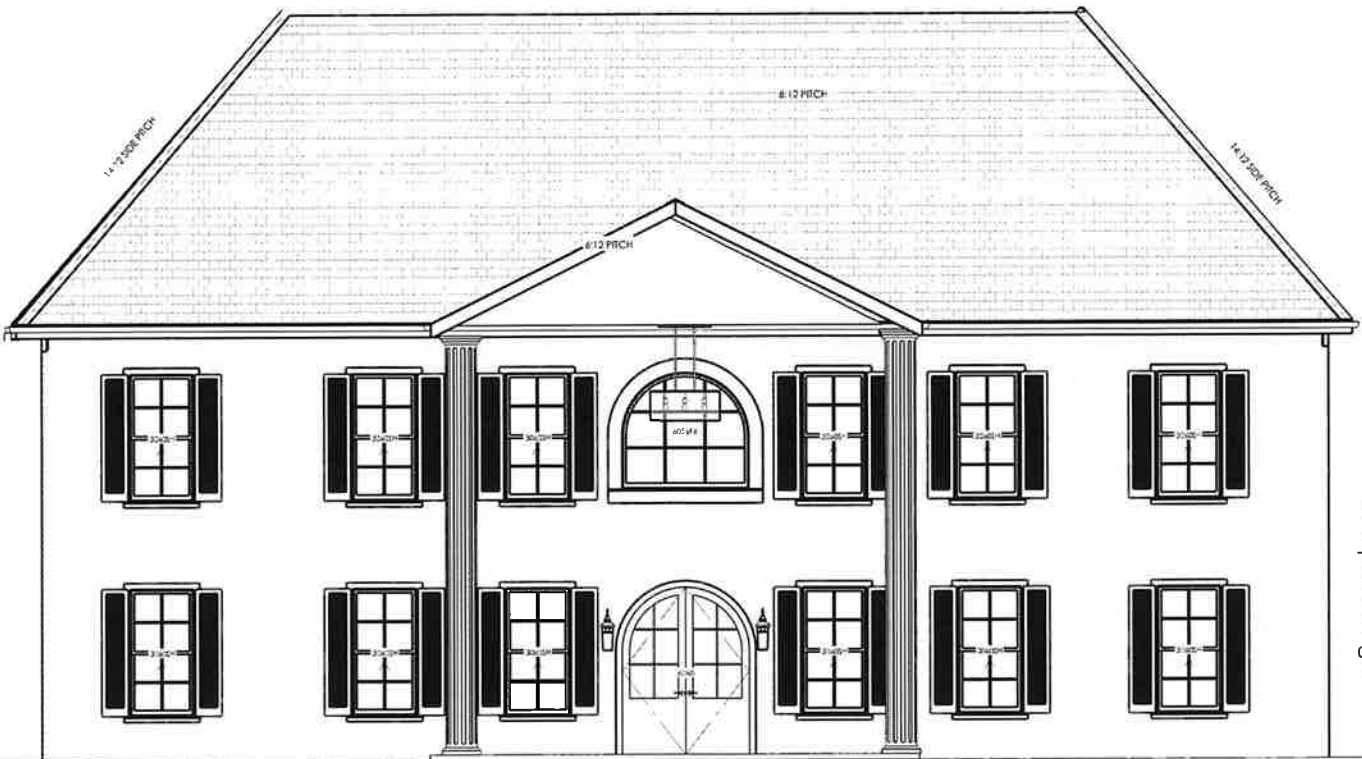
Project Number
246009

Sheet Number
C2

ELEVATIONS

SCALE
1/4"=1'

Amendment to PD-15-5



front elevation

scale 1/4 in = 1 ft



rear elevation

scale 1/4 in = 1 ft

Lynlee Harvey At Home, LLC is not held responsible for any structural, mechanical, plumbing or electrical misdesign. This set of drawings is provided to guide contractors and subcontractors with conceptual design intent only.

Lynleebuilds
at home + work

PROJECT DESCRIPTION:

SARAH BERRY, CPA

DATE:

3/11/24

SCALE:

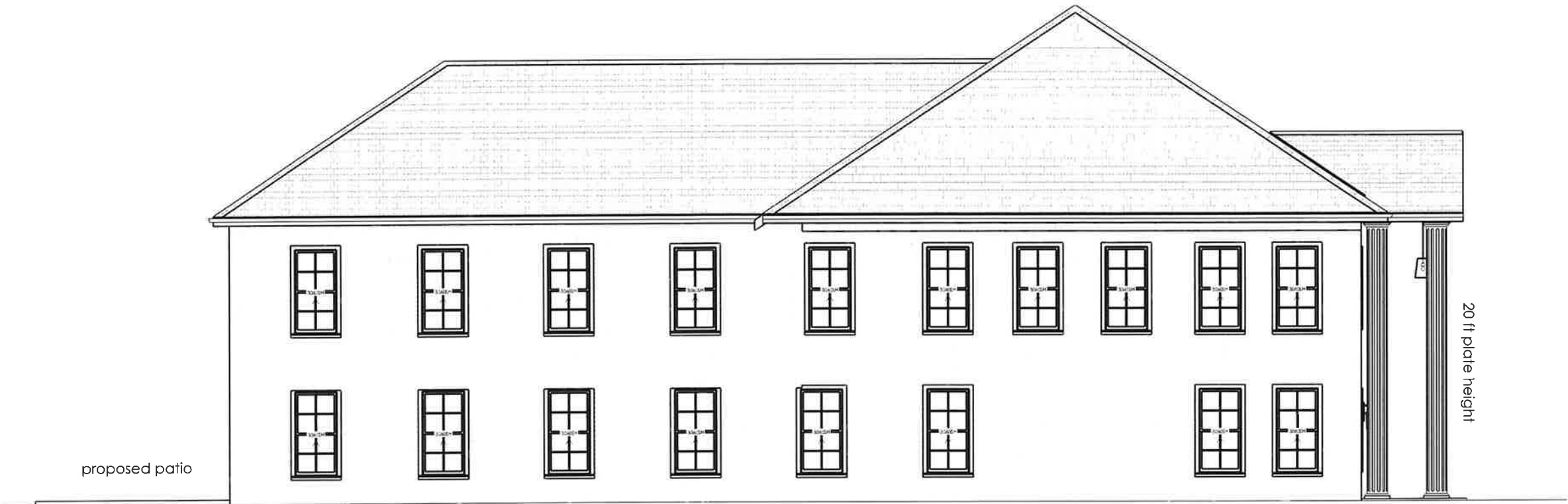
SCALE
1/4"=1'

SHEET:

A-06

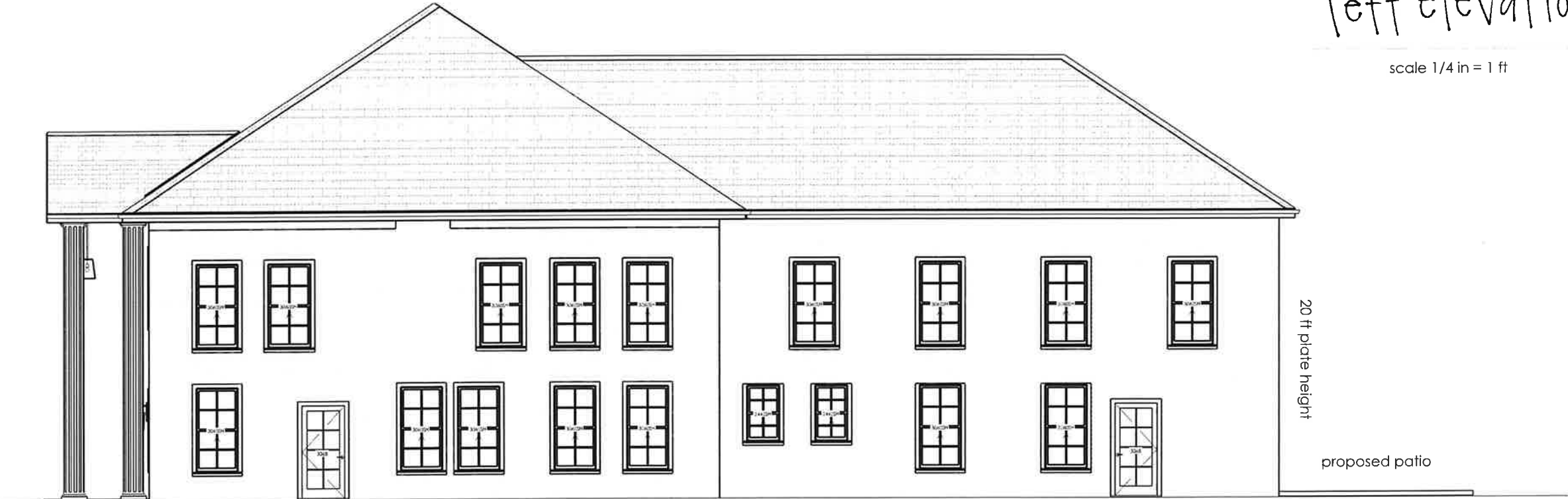
ELEVATIONS

SCALE
3/16"=1'



left elevation

scale 1/4 in = 1 ft



right elevation

scale 1/4 in = 1 ft

Lynlee Harvey At Home, LLC is not held responsible for any structural, mechanical, plumbing or electrical misdesign. This set of drawings is provided to guide contractors and subcontractors with conceptual design intent only.

Lynlee builds
at home + work

PROJECT DESCRIPTION:

SARAH BERRY, CPA

DATE:

3/11/24

SCALE:

SCALE
1/4"=1'

SHEET:

A-07



Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone
711 TTY
(903) 791-0724 Fax

MEMORANDUM

To: Laura Puckett, Zoning Administrator & Development Service Manager

From: Kenneth L. Icenhower, P.E., Asst Executive Director, TWU

Date: March 21, 2024

Re: **CPA Building 3603 Texas Blvd - Site Plan**

The Utility staff has reviewed the above site plan and has the following comments:

1. There is a 16 in water main along the West side of Texas Blvd along the property and a 6in water main along the East side of Texas Blvd.
2. There is a 6 in sewer main on the East side of Texas Blvd.
3. The Utility reserves the right to request additional utility easements upon review of the plans.
4. The Utility has no objections to the site plan location.

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

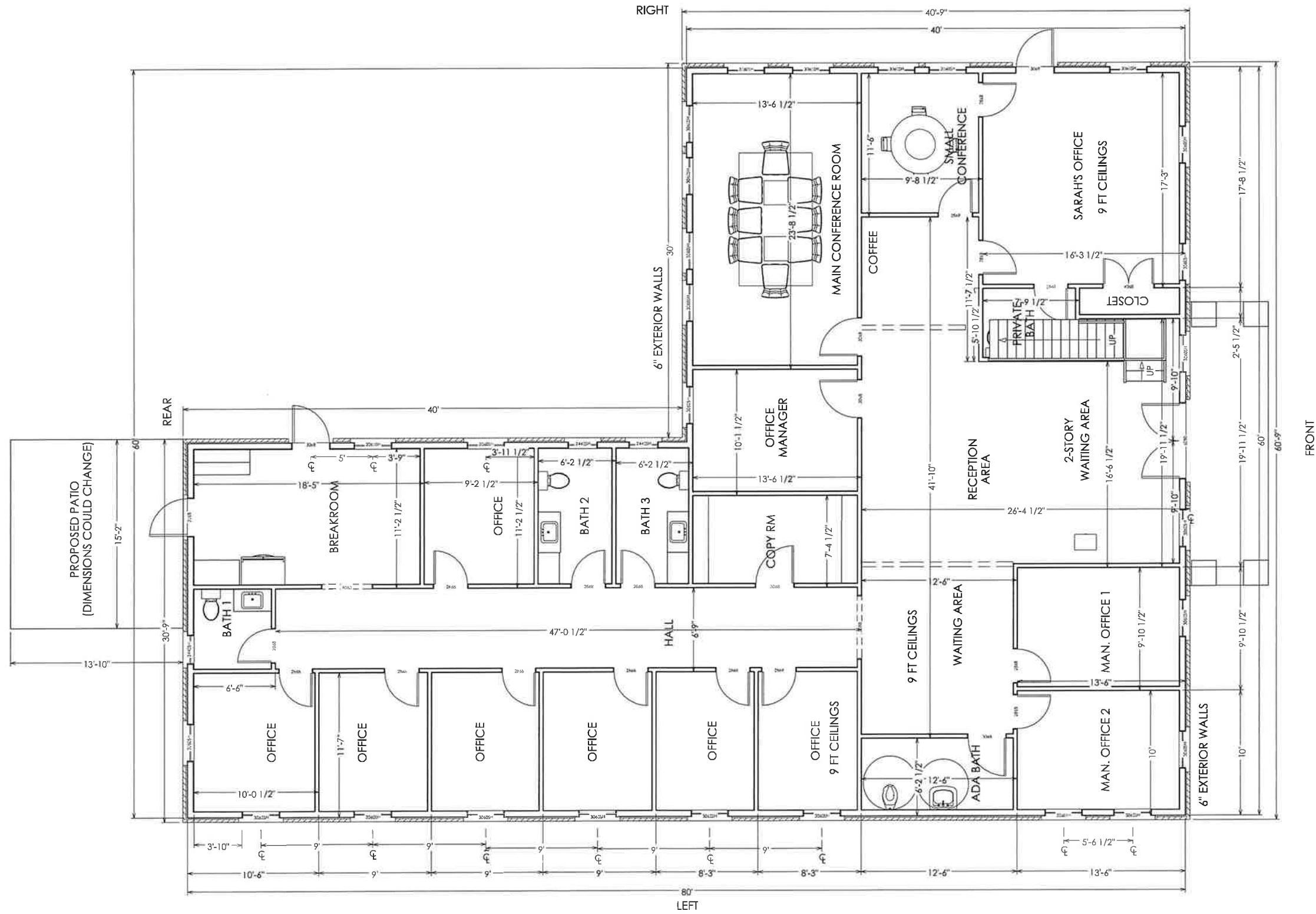
cc: Gary L. Smith, P.E., Executive Director, TWU
Bill Moss, GIS Asset Management Administrator, TWU
Teresa Akard, O & M Coordinator, TWU
Michelle Warren, Executive Assistant, TWU

Attachment: TWU 3603 Texas Blvd memo1 (4216 : Amendment to PD-15-5 Site Plan approval 3603 Texas Blvd)

FLOOR PLAN



Amendment to PD-15-5



Lynlee Harvey At Home, LLC is not held responsible for any structural, mechanical, plumbing or electrical misdesign. This set of drawings is provided to guide contractors and subcontractors with conceptual design intent only.

Lynleebuilds
at home + work

PROJECT DESCRIPTION:
SARAH BERRY, CPA

DATE:
3/11/24

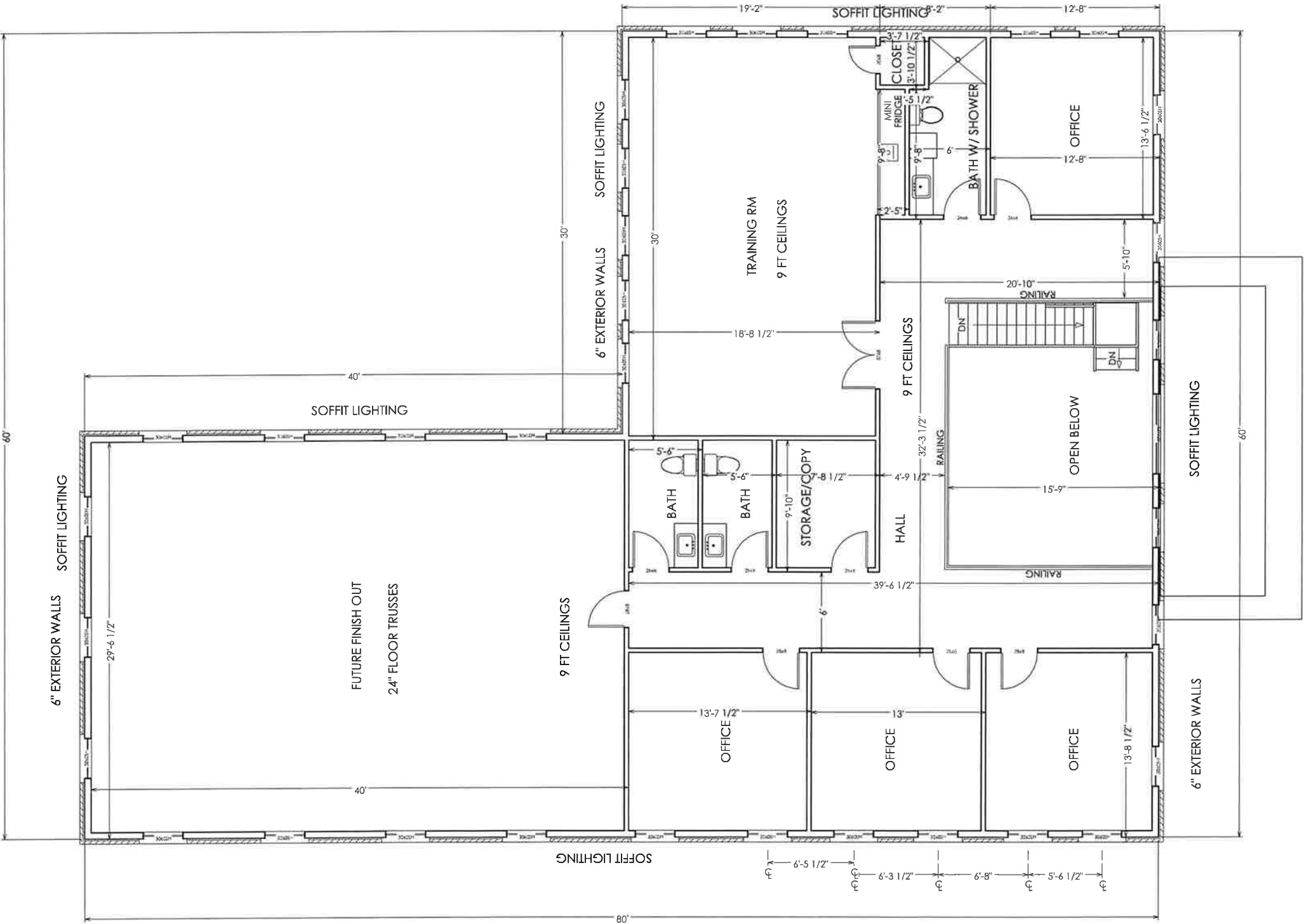
SCALE:
SCALE
1/4"=1'

SHEET:
A-04

SECOND FLOOR



Amendment to PD-15-5



Lynlee Harvey At Home, LLC is not held responsible for any structural, mechanical, plumbing or electrical misdesign. This set of drawings is provided to guide contractors and subcontractors with conceptual design intent only.



PROJECT DESCRIPTION:
SARAH BERRY, CPA

DATE:
3/11/24

SCALE:
SCALE 1/4"=1'

SHEET:
A-04

City of Texarkana, Texas

Version:

Update Date: 3/26/2024 10:26 AM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Subject: S-787: Specific Use Permit to allow one additional use of a daycare on Lot 32, Block2, Oaklawn Subdivision, located 2201 N Akin Avenue. Tameka King, owner.
Meeting Date: 4/1/2024

Attachments

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)
- c. Elevation (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Completed	03/26/2024 10:54 AM	
Planning & Zoning Commission	Mashell Daniel	Department Review
Completed	03/26/2024 10:54 AM	
Planning & Zoning Commission	Laura Puckett	Meeting Pending
	04/01/2024 6:00 PM	

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Tameka King, owner, for a Specific Use Permit to allow one additional use for daycare/preschool on Lot 32, Block 2, Oaklawn Subdivision, located at 2201 N Akin Avenue. The property is zoned Single Family-2.

The Future Land Use Map has designated this property as "Mixed Use Development".

The adjacent zoning is Single Family-2 to the north, east, and south, and Office to the west. The adjacent land usage is residential to the north, east, and south, and pest control office to the west.

A Specific Use Permit is required to allow daycare use in this zoning district.

Staff recommends for approval of this request.

City of Texarkana, Texas

The applicant should also be aware that if this zoning change is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notifications and application requirements have been met to consider this request.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of this request.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

April 1, 2024

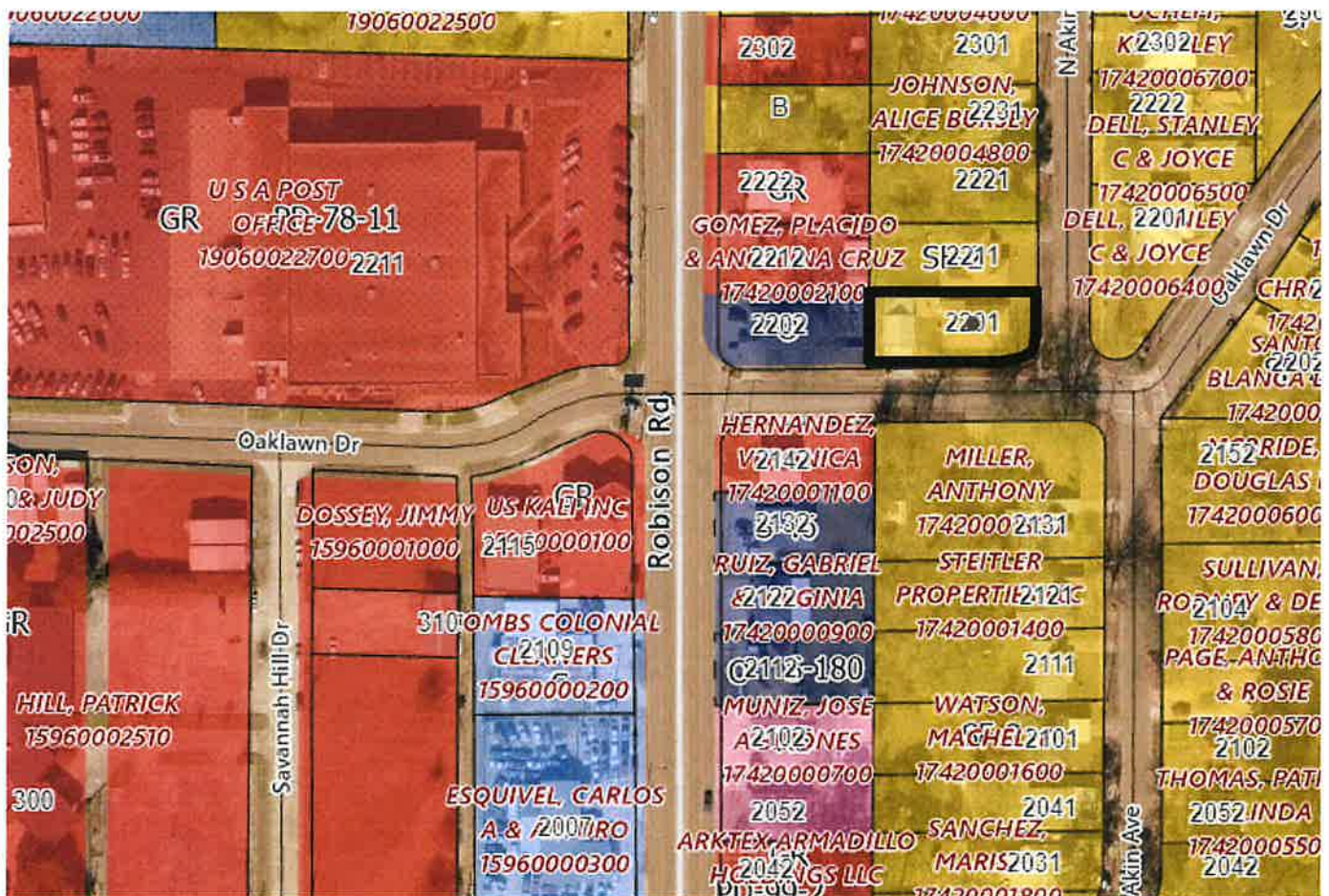
NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, April 1, 2024 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, May 13, 2024 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@texarkanatexas.gov).



Attachment: Hearing Notice and Application (4217 : S-787 SUP daycare 2201 N Akin)

OWNER: Tameka King, owner

OWNER'S ADDRESS: 3314 Moores Lane, Texarkana, Texas 75503

LOCATION OF REZONING: 2201 N Akin Avenue, Texarkana, Texas 75501

PROPOSED CHANGE: Specific Use Permit to allow the location of a daycare

LEGAL DESCRIPTION: Lot 32, Block 2, Oaklawn Subdivision

CASE NUMBER: S-787

DATE MAILED: March 20, 2024



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 24-000851

Case S-787

Date 3-7-24

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property.

Lot: 32 Block: 2 Addition: Oaklawn Subdivision
(Or see attached legal description)

Location: 2201 N. Akin St Texarkana Tx 75501

Present Zoning: Single Family

Requested: Specific Use Permit

The requested Specific Use Permit will be used for the following:

Child Care Center (Day Care)

Describe the changed conditions, if any, occurring since the original zoning, which affect your property and which justify rezoning:

Child Care Center (Day Care)

Attorney or Agent Signature

Printed Name: _____

Address

City, State, Zip

Home Phone & Cell Phone

Email Address

Property Owner Signature

Printed Name: Tameka King

3314 moares lane
Address

Texarkana Tx 75503
City, State, Zip

(903) 826-8713
Home Phone & Cell Phone

Tameka.king27@gmail.com
Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4217 : S-787 SUP daycare 2201 N Akin)

2201 N Akin Street



111 105
MOORE, CHRISTOPHER MARK
2325
2323
2315
2211
SA POST OFFICE
2212
2202
2201
2221
2222
B
2302
2312
2322
2332
2342
2352
2402
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2341
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2201
2202
2142
2132
2122
2112
2102
2052
2042
2041
2031
2021
2011
2001
2007
310
2109
2115
DOSSEY, JIMMY
HILL, PATRICK
OAKLAWN DR
SAVANNAH HILL DR
ROBISON RD
N AKIN AVE

Packet Pg. 26

S-787

2.3.c



Attachment:

Packet Pg. 27

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 3/26/2024 10:28 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Subject: Amendment to PD-23-4 for site plan approval a 15.15-acre tract of land (being Tract 81) H.S. Janes HRS, A-306, located at 500 S Bishop Road. Russ Huckaby, owner, and Jess Griffin, agent.

Meeting Date: 4/1/2024**Attachments**

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Maps (PDF)
- d. Site Plan (PDF)
- e. TWUmemo1 (DOCX)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Completed	03/26/2024 10:57 AM	
Planning & Zoning Commission	Mashell Daniel	Department Review
Completed	03/26/2024 10:58 AM	
Planning & Zoning Commission	Laura Puckett	Meeting Pending
04/01/2024 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Russ Huckaby, owner and Jess Griffin, agent, for site plan approval on an approximate 15.15-acre tract of land (being Tract 81) H.S. Janes HRS, A-306, located south of 1000 South Bishop Road and north of Findley Street. The current zoning is Planned Development-Industrial-1. The property is currently vacant property. The proposed use is a warehouse and manufacturing plant.

The Future Land Use Map designates this property as "Industrial".

The adjacent zoning is Planned Development-Industrial-1 to the north, west and east, and outside the city limits to the south. The adjacent land use is vacant land to the north, west, east, and south.

The site plan consists of the following:

City of Texarkana, Texas

1. The construction of an 86,272 sq ft building.
2. The access driveway will be off South Bishop Road. Any changes to driveway on South Bishop Road will require TXDOT approval.
3. There will be 102 parking spaces and includes 6 handicapped spaces. All parking spaces shall be a minimum of 180 sq. ft. in size.
4. A 5'X8' monument style sign. No Electronic messaging will be allowed.
5. Must be platted prior to issuance of CO.
6. Fire lane required.
7. Screened dumpster site.
8. There is no water or sewer service to this area. It will be the owner's responsibility to extend services to the area.
9. The water and sewer mains and lift station shown on the site plan are not approved. More information is required for review.
10. The Utility reserves the right to request additional utility easements upon review of the plans.
11. The Utility has no objections to the site plan location.

Staff recommends for approval of the site plan with stipulations.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water, and sewer prior to the issuance of building permits.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of the site plan with stipulations.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

April 1, 2024

NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3945.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, April 1, 2024 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, May 13, 2024 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@texarkanatexas.gov).



OWNER: Russ Huckaby, owner, and Jess Griffin, agent

OWNER'S ADDRESS: 4515 Cole Avenue, Dallas, Texas 75205

LOCATION OF REZONING: S Bishop Road, Texarkana, Texas 75501

PROPOSED CHANGE: Amendment to PD-23-4 for site plan approval for the construction of warehouse & manufacturing plant

LEGAL DESCRIPTION: on an approximate 15.15-acre tract of land (being Tract 81) HS Janes HRS, A-306

CASE NUMBER: Amendment-PD-23-4

DATE MAILED: March 20, 2024

Attachment: Hearing Notice and Application (4218 : Amendment to PD-23-4 site plan approval 500 S Bishop Road)



SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. _____

Case PD-23-4
Date 3-13-24

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property.

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: _____ Block: Tract 81 Addition: HS Jones, A-306
(Or see attached metes and bounds legal description)

Project location/address:
Just South of 1000 S. Bishop Rd, One parcel North of Findley St

Present zoning: I-1 Proposed zoning (if applicable) n/a

Proposed use: warehouse and manufacturing plant

Total square footage of proposed building: 86,272 Number of parking spaces 102

Number of required parking spaces per Ordinance ? Handicapped spaces 6

Material of building façade Concrete, Metal, Glass

SIGNAGE: Type (i.e. monument, pole) 5'X20'

Size CONCRETE, METAL, WOOD, STONE

Material to be used for structure (if monument style) CONCRETE, METAL, WOOD, STONE

Attorney or Agent Signature

4514 Cole Avenue

Address

Dallas, TX 75205

City, State, Zip

501-690-3456

Home Phone & Cell Phone

jess@resortments.com

Email Address

Property Owner Signature

4514 Cole Avenue

Address

Dallas, TX 75205

City, State, Zip

501-840-7029

Home Phone & Cell Phone

russ@resortments.com

Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4218 : Amendment to PD-23-4 site plan approval 500 S Bishop Road)

SITE PLAN CHECK-LIST

Submission of Site Plan – all applications for site plan approval or amendment to site plan must include comprehensive site plan of the proposed development.

The site plan shall include as a minimum the following:

- ☒ North point, scale, and location map.
- ☒ Adjacent zoning.
- ☒ Property dimensions of the site and lot area.
- ☒ The proposed size, location and arrangement of proposed building(s).
- ☒ Ingress and egress into the property; existing and proposed drives, existing, proposed and adjacent streets.
- ☒ Location of existing and proposed utilities, setbacks and fire hydrants.
- ☒ Location of existing and proposed drainage feature (inlets, storm pipe, channels, detention, etc.).
- ☒ All parking spaces and parking space dimensions.
- ☒ All proposed landscaping, screening (fencing), buffer zones or other protective requirements.
- ☒ Location, height and dimensions of any proposed signage.

In addition, the following needs to be provided separate from the site plan:

- ☒ Rendering of proposed signage.
- ☒ Building elevations

CONDITIONS OF APPROVAL – Please be aware that the Planning and Zoning Commission and/or City Council may impose any additional requirements or conditions they deem necessary to protect adjacent property owners, guarantee the compatibility of surrounding land uses, or protect the interests of the City. Examples are but are not limited to screening, lighting and signage.

COMPLIANCE WITH SITE PLAN – No deviation may be made from an approved site plan without the administrative approval of the Director of Planning and Community Development (or his designee). Any significant change in the approved site plan may necessitate re-submittal to the Planning and Zoning Commission and City Council.

UNDER NO CONDITIONS WILL A PERMIT BE ISSUED FOR CONSTRUCTION IN A PLANNED DEVELOPMENT DISTRICT UNLESS ALL REQUIREMENTS OF THE SITE PLAN HAVE BEEN SATISFIED. ADDITIONAL REQUIREMENTS MAY BE NECESSARY FOR THE BUILDING PERMIT PROCESS.

LEGAL DESCRIPTIONS**TRACT TWO:**

ALL THAT CERTAIN 76.70 ACRE TRACT OF LAND IN THE H.S. JANES HEADRIGHT SURVEY, A-306, BOWIE COUNTY, TEXAS, BEING THE REMAINDER OF A CALLED 106.519 ACRE TRACT DESCRIBED AS TRACT TWENTY-FOUR IN VOLUME 635, PAGE 113, BOWIE COUNTY DEED RECORDS; SAID 76.70 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: BEGINNING AT A 3/8" REBAR FOUND FOR THE SOUTHEAST CORNER OF THE DORSEY BLACKWELL CALLED 5.40 ACRE TRACT, THE SOUTHWEST CORNER OF A CALLED 15.60 ACRE TRACT DESCRIBED IN VOLUME 2105, PAGE 211 AND THE NORTHWEST CORNER OF THIS TRACT; A 1" ANGLE IRON FOUND FOR THE SOUTHWEST CORNER OF THE SAID CALLED 5.40 ACRE TRACT AND THE SOUTHEAST CORNER OF A CALLED 10.00 ACRE TRACT DESCRIBED IN VOLUME 514, PAGE 7, LIES N 89° 47' 52" W, 175.65 FEET; THENCE: S 89° 47' 52" E (BEARINGS BASED ON TRUE NORTH MERIDIAN DERIVED VIA SOLAR OBSERVATIONS), 3492.36 FEET, TO A 1/2" REBAR WITH CAP SET FOR THE NORTHWEST CORNER OF THE H.J. TRAMMELL CALLED 25.30 ACRE TRACT AND THE NORTHEAST CORNER OF THIS TRACT; A 1/2" REBAR FOUND ON THE WEST SIDE OF A SERVICE ROAD FOR THE NORTHEAST CORNER OF THE SAID CALLED 25.30 ACRE TRACT LINES S 89° 47' 52" E, 574.84 FEET; THENCE: S 00° 14' 11" W, ALONG THE WEST LINE OF THE SAID CALLED 25.30 ACRE TRACT, 405.26 FEET, TO A 1/2" REBAR WITH CAP SET FOR THE NORTHEAST CORNER OF A CALLED 10.00 ACRE TRACT DESCRIBED IN VOLUME 461, PAGE 288 AND THE MOST EASTERN SOUTHEAST CORNER OF THIS TRACT; THENCE: S 89° 54' 24" W, ALONG THE NORTH LINE OF THE SAID CALLED 10.00 ACRE TRACT, 777.48 FEET, TO A 1/2" REBAR WITH CAP SET ON THE EAST LINE OF A CALLED 15.00 ACRE TRACT DESCRIBED IN VOLUME 396, PAGE 320, FOR THE NORTHWEST CORNER OF THE SAID CALLED 10.00 ACRE TRACT AND A CORNER OF THIS TRACT; THENCE: N 00° 13' 38" W, ALONG THE EAST LINE OF THE SAID CALLED 15.00 ACRE TRACT, 45.19 FEET TO A 1/2" REBAR WITH CAP SET FOR THE NORTHEAST CORNER OF THE SAID CALLED 15.00 ACRE TRACT AND AN ELL CORNER OF THIS TRACT; THENCE: S 89° 54' 24" W, ALONG THE NORTH LINE OF THE SAID CALLED 15.00 ACRE TRACT, 600.00 FEET (DEED CALL) TO A 1/2" REBAR WITH CAP SET FOR THE NORTHWEST CORNER OF THE SAID CALLED 15.00 ACRE TRACT AND AN ELL CORNER OF THIS TRACT; THENCE: S 00° 13' 36" E, ALONG THE WEST LINE OF THE SAID CALLED 15.00 ACRE TRACT, 1100.00 FEET (DEED CALL) TO A 1/2" REBAR WITH CAP SET FOR THE SOUTHWEST CORNER OF THE SAID CALLED 15.00 ACRE TRACT, THE NORTHEAST CORNER OF THE JAMES E. ANDERSON CALLED 2.00 ACRE TRACT, THE NORTHWEST CORNER OF THE MELVIN HARRIS CALLED 7.80 ACRE TRACT AND THE MOST SOUTHERN SOUTHEAST CORNER OF THIS TRACT; THENCE: S 89° 54' 24" W, 2140.86 FEET, TO A 1/2" IRON PIPE FOUND FOR THE SOUTHEAST CORNER OF THE GERALDINE PAYNE CALLED 7.83 ACRE TRACT, THE NORTHWEST CORNER OF THE CONNOR HEIGHTS SUBDIVISION AND THE SOUTHWEST CORNER OF THIS TRACT; THENCE: N 00° 54' 38" E, ALONG THE EAST LINE OF THE SAID CALLED 7.83 ACRE TRACT, 46.74 FEET TO A 1/2" REBAR WITH CAP SET FOR THE SOUTHWEST CORNER OF A CALLED 0.483 ACRE TRACT DESCRIBED IN VOLUME 580, PAGE 72 AND A CORNER OF THIS TRACT; THENCE: N 89° 58' 55" E, 323.95 FEET TO A 1/2" REBAR WITH CAP SET FOR THE SOUTHEAST CORNER OF A CALLED 1.045 ACRE TRACT DESCRIBED IN VOLUME 573, PAGE 290 AND AN ELL CORNER OF THIS TRACT; THENCE: N 00° 34' 55" W, 1024.24 FEET TO A 1/2" IRON PIPE FOUND FOR THE NORTHEAST CORNER OF A CALLED 1.25 ACRE TRACT DESCRIBED AS TRACT 1 THRU 6 IN VOLUME 1443, PAGE 179, AND AN ELL CORNER OF THIS TRACT; THENCE: N 89° 47' 52" W, 130.00 FEET (DEED CALL) TO A 1/2" REBAR WITH CAP SET ON THE EAST SIDE OF A PUBLIC ROAD FOR THE NORTHWEST CORNER OF THE SAID CALLED 1.25 ACRE TRACT AND A CORNER OF THIS TRACT; THENCE: N 00° 54' 38" E, 50.00 FEET TO A 1/2" REBAR WITH CAP SET ON THE NORTH SIDE OF BOWIE COUNTY ROAD NO. 1344 (GIBBS AVENUE) FOR AN ELL CORNER OF THIS TRACT; THENCE: N 89° 50' 24" W, ALONG THE NORTH SIDE OF THE SAID COUNTY ROAD, 167.25 FEET TO A 1/2" REBAR WITH CAP SET ON THE EAST LINE OF THE GIBBS SUBDIVISION FOR A CORNER OF THIS TRACT; A 5/8" IRON ROD FOUND ON THE EAST SIDE OF KINGS HIGHWAY AND THE NORTH LINE OF THE SAID COUNTY ROAD, LIES N 89° 50' 24" W, 1867.36 FEET; THENCE: N 00° 54' 38" E, ALONG THE EAST LINE OF THE SAID GIBBS SUBDIVISION, 356.23 FEET TO THE PLACE OF BEGINNING, CONTAINING 76.70 ACRES OF LAND, MORE OR LESS.

TRACT FOUR:

ALL THAT CERTAIN 15.15 ACRE TRACT OF LAND IN THE CITY OF TEXARKANA, H.S. JANES HEADRIGHT SURVEY, A-306, BOWIE COUNTY, TEXAS, BEING ALL OF A CALLED 15.00 ACRE TRACT DESCRIBED IN VOLUME 396, PAGE 320, BOWIE COUNTY DEED RECORDS; SAID 15.15 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: BEGINNING AT A 1/2" REBAR WITH CAP SET FOR THE NORTHWEST CORNER OF THE MELVIN HARRIS CALLED 7.80 ACRE TRACT, THE NORTHEAST CORNER OF THE JAMES E. ANDERSON CALLED 2.00 ACRE TRACT, THE MOST SOUTHERN SOUTHEAST CORNER OF A CALLED 76.70 ACRE TRACT SURVEYED BY EAST TEXAS SURVEYING CO. ON JANUARY 8, 1997 AND THE SOUTHWEST CORNER OF THIS TRACT; THENCE: N 00° 13' 36" W, (BEARINGS BASED ON TRUE NORTH MERIDIAN DERIVED VIA SOLAR OBSERVATION) ALONG THE SOUTHERN EAST LINE OF THE SAID CALLED 76.70 ACRE TRACT, 1100.00 FEET TO A 1/2" REBAR WITH CAP SET FOR AN ELL CORNER OF THE SAID CALLED 76.70 ACRE TRACT AND THE NORTHWEST CORNER OF THIS TRACT; THENCE: N 89° 54' 24" E, ALONG THE SOUTH LINE OF THE SAID CALLED 76.70 ACRE TRACT, 600.00 FEET TO A 1/2" REBAR WITH CAP SET FOR AN ELL CORNER OF THE SAID CALLED 76.70 ACRE TRACT AND THE NORTHEAST CORNER OF THIS TRACT; THENCE: S 00° 13' 36" E, PASSING A 1/2" REBAR WITH CAP SET FOR A CORNER OF THE SAID CALLED 76.70 ACRE TRACT AND THE NORTH WEST CORNER OF A CALLED 10.00 ACRE TRACT DESCRIBED IN VOLUME 461, PAGE 288, AT 45.19 FEET AND CONTINUING

ALONG THE WEST LINE OF THE SAID CALLED 10.00 ACRE TRACT, IN ALL, 1100.00 FEET TO A 1/2" REBAR WITH CAP SET ON THE NORTH LINE OF THE SAID CALLED 7.80 ACRE TRACT FOR THE SOUTHWEST CORNER OF THE SAID CALLED 10.00 ACRE TRACT AND THE SOUTHEAST CORNER OF THIS TRACT;
 THENCE: S 89° 54' 24" W, ALONG THE NORTH LINE OF THE SAID CALLED 7.80 ACRE TRACT, 600.00 FEET TO THE PLACE OF BEGINNING, CONTAINING 15.15 ACRES OF LAND, MORE OR LESS.

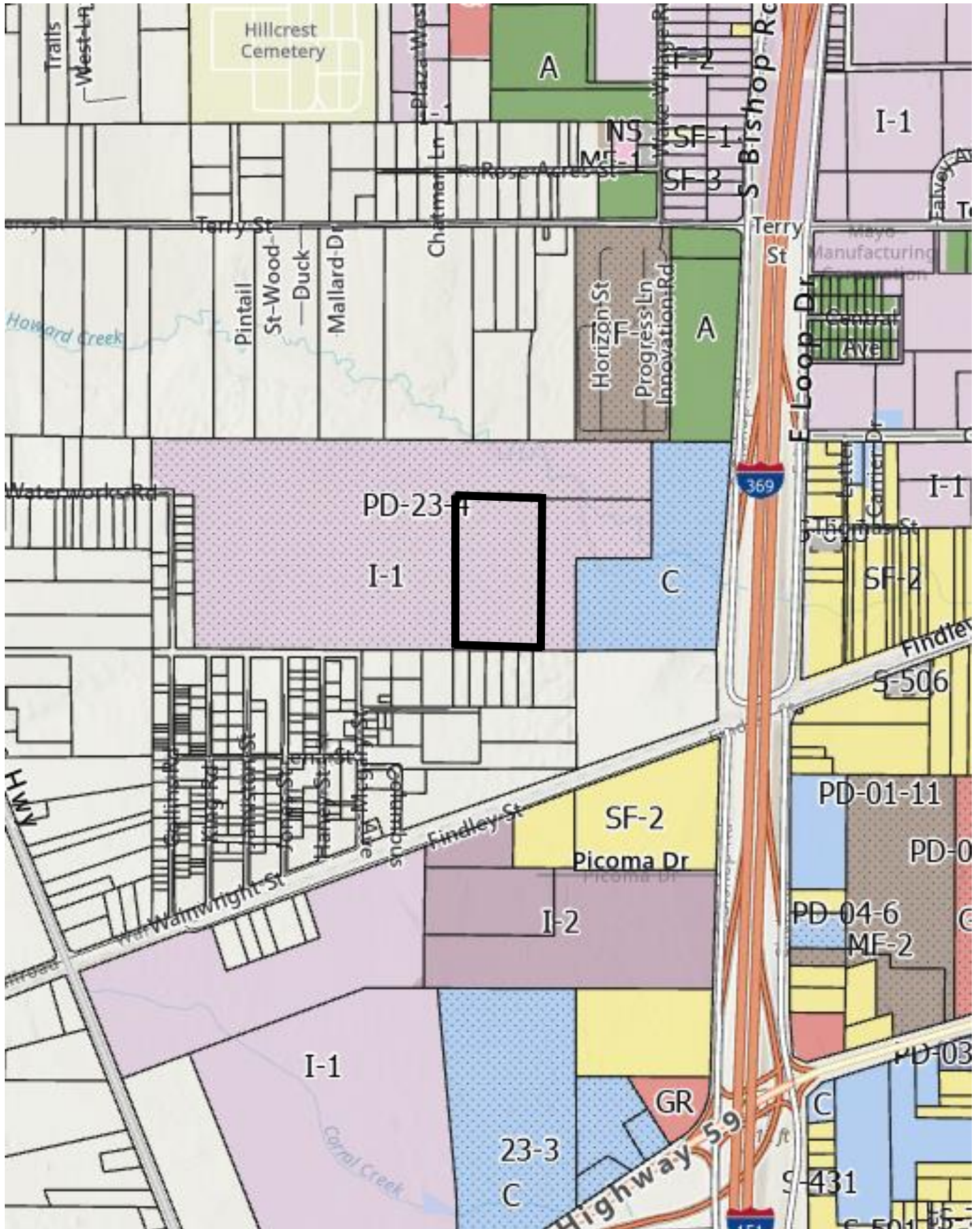
TRACT FIVE:

ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN THE COUNTY OF BOWIE, STATE OF TEXAS AND BEING A PART OF BLOCKS NUMBERED SEVEN (7) AND EIGHT (8) OF THE SUBDIVISION OF THE H. S. JANES HEADRIGHT SURVEY, A-306, BOWIE COUNTY, TEXAS AND DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT:
 BEGINNING AT A STAKE, THE COMMON CORNERS OF BLOCKS NUMBERED SEVEN (7), EIGHT (8), THIRTEEN (13) AND FOURTEEN (14) OF THE SUBDIVISION OF THE SAID H.S. JANES SURVEY;
 THENCE: NORTHERLY WITH THE EAST BOUNDARY LINE OF SAID BLOCK NUMBERED EIGHT (8), THE WEST BOUNDARY LINE OF BLOCK NUMBERED SEVEN (7), A DISTANCE OF APPROXIMATELY 660 FEET TO A STAKE;
 THENCE: EAST, A DISTANCE OF 457.5 FEET TO A STAKE;
 THENCE: NORTH 400 FEET TO A STAKE;
 THENCE: WEST, 457.5 FEET, CROSSING THE WEST BOUNDARY LINE OF BLOCK NUMBERED SEVEN (7) THE EAST BOUNDARY LINE OF BLOCK NUMBERED EIGHT (8) AND CONTINUING WEST INTO BLOCK NUMBERED EIGHT (8) FOR 250 FEET TO THE EAST BOUNDARY LINE OF A 15 ACRE TRACT HERETOFORE CONVEYED BY US IN A DEED TO LADONIA GREEN PAYTON;
 THENCE: SOUTH, WITH HER EAST LINE, TO THE SOUTH LINE OF BLOCK NUMBERED EIGHT (8);
 THENCE: EAST, 250 FEET ALONG THE SOUTH LINE OF BLOCK NUMBERED EIGHT (8) TO THE PLACE OF BEGINNING AND CONTAINING TEN (10) ACRES OF LAND.

TRACT SIX:

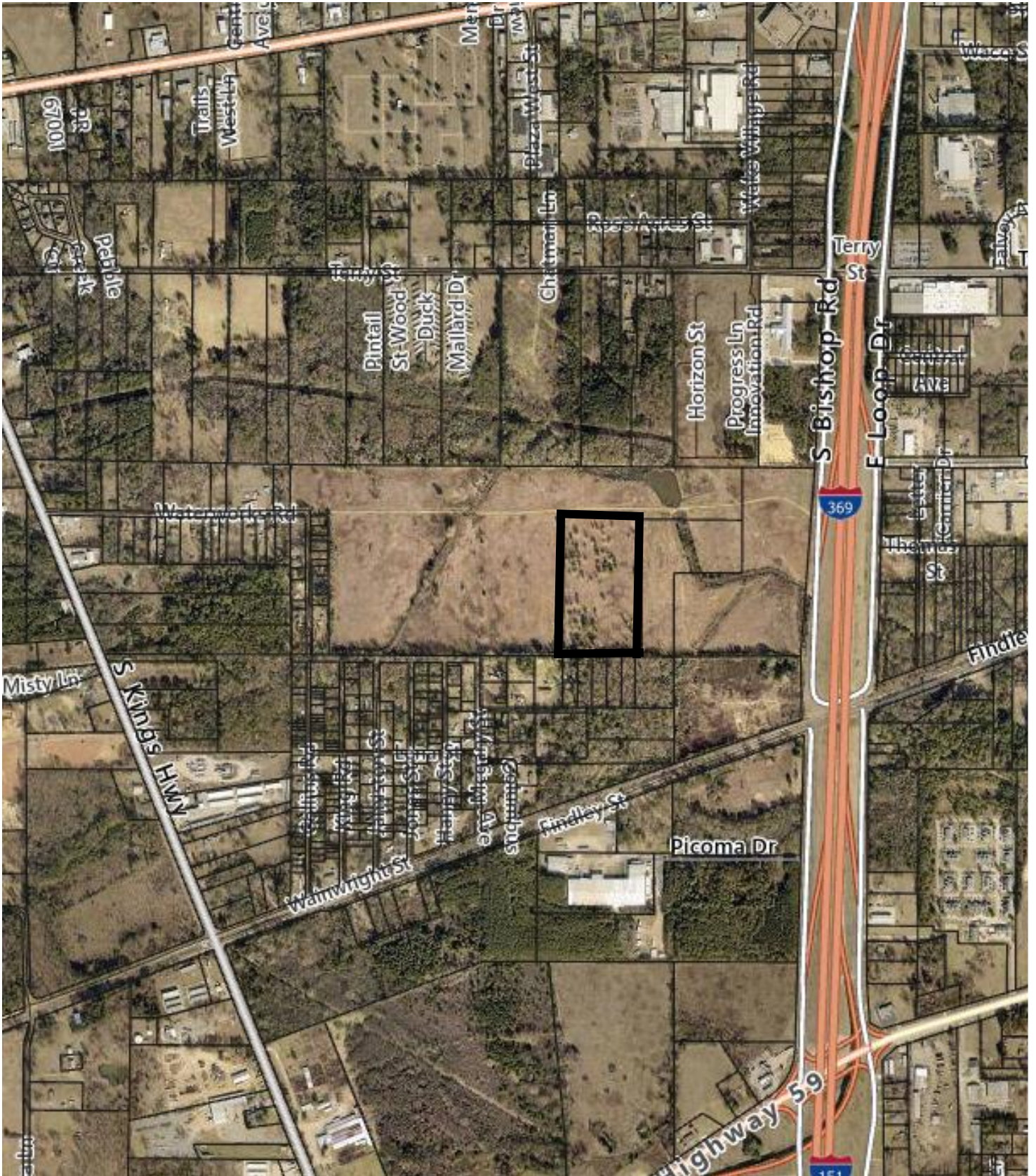
ALL THAT CERTAIN TRACT OR PARCEL OF LAND SITUATED IN BLOCK 7 OF THE SUBDIVISION OF THE H.S. JANES HEADRIGHT SURVEY, A-306, BOWIE COUNTY, TEXAS AND BEING ALL THAT CERTAIN CALLED 10 ACRE TRACT CONVEYED TO H.J. TRAMMELL BY DEED RECORDED IN VOLUME 325, PAGES 145-149, DEED RECORDS, BOWIE COUNTY, TEXAS AND THE RESIDUAL OF THAT CERTAIN CALLED 30 ACRE TRACT CONVEYED TO H.J. TRAMMELL BY DEED RECORDED IN VOLUME 332, PAGES 445-446; SAID DEED RECORDS, SUBJECT TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
 BEGINNING AT A 1/2" REBAR SET FOR THE SOUTHWEST CORNER; SAID POINT BEING THE SOUTHWEST CORNER OF SAID 10 ACRE TRACT AND ALSO BEING THE SOUTHWEST CORNER OF SAID BLOCK 7, A CROSS-TIE FENCE CORNER BEARS S 02° 01' 13" E, A DISTANCE OF 22.10 FEET;
 THENCE: N 00° 26' 06" W, ALONG THE WEST LINE OF SAID BLOCK 7, 660.00 FEET TO A 1/2" REBAR SET FOR THE WESTERLY NORTHWEST CORNER; SAID POINT BEING THE NORTHWEST CORNER OF SAID 10 ACRE TRACT;
 THENCE: N 88° 37' 00" E, ALONG THE NORTH LINE OF SAID 10 ACRE TRACT, AT 45.69 FEET, PASSING A CROSS-TIE FENCE CORNER, 2.37 FEET, RIGHT AND CONTINUING FOR A TOTAL DISTANCE OF 507.57 FEET, TO A POINT FOR INTERIOR CORNER; SAID POINT BEING THE WESTERLY SOUTHWEST CORNER OF SAID 30 ACRE TRACT, 1/2" REBAR REFERENCE S 88° 37' 40" W;
 THENCE: N 01° 53' 47" W, ALONG THE WEST LINE OF SAID 30 ACRE TRACT, 803.13 FEET TO A 1/2" REBAR SET FOR THE NORTHWEST CORNER; SAID POINT BEING THE NORTHWEST CORNER OF SAID 30 ACRE TRACT AND ALSO BEING IN THE OCCUPIED NORTH LINE OF SAID BLOCK 7;
 THENCE: N 88° 02' 08" E, ALONG SAID NORTH LINE; SAME BEING THE NORTH LINE OF SAID 30 ACRE TRACT, AT 353.68 FEET, PASSING A 1/2" REBAR AND CONTINUING FOR A TOTAL DISTANCE OF 575.84 FEET, TO A POINT FOR THE NORTHEAST CORNER IN THE WEST RIGHT-OF-WAY LINE OF US HIGHWAY 59 (LOOP 151), A 1/2" REBAR FOUND BEARS N 88° 02' 08" E, A DISTANCE OF 0.32 FEET;
 THENCE: S 01° 48' 43" W, ALONG SAID ROW LINE, 401.63 FEET TO A 1/2" REBAR SET AT AN ANGLE POINT;
 THENCE: S 03° 41' 00" W, ALONG SAID ROW LINE, AT 15.54 FEET, PASSING A ROW MONUMENT 1.39 FEET LEFT AND CONTINUING FOR A TOTAL DISTANCE OF 1001.80 FEET TO A 1/2" REBAR SET AT AN ANGLE POINT;
 THENCE: S 04° 04' E, ALONG SAID ROW LINE, 70.04 FEET TO A T-POST SET FOR THE SOUTHEAST CORNER; SAID POINT BEING IN THE SOUTH LINE OF SAID 30 ACRE TRACT; SAME BEING THE OCCUPIED SOUTH LINE OF SAID BLOCK 7;
 THENCE: S 88° 37' W, ALONG SAID SOUTH LINE, AT 319.50 FEET, PASSING THE SOUTHEAST CORNER OF AFOREMENTIONED 10 ACRE TRACT AND CONTINUING FOR A TOTAL DISTANCE OF 979.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 25.169 ACRES OF LAND, MORE OR LESS.

South of 1000 S Bishop & north of Findley St.



Attachment: Maps (4218 : Amendment to PD-23-4 site plan approval 500 S Bishop Road)

South of 1000 S Bishop & north of Findley St.



Attachment: Maps (4218 : Amendment to PD-23-4 site plan approval 500 S Bishop Road)

	CONSTRUCT SF LANDSCAPE AREA
	CONSTRUCT PAVEMENT
	CONSTRUCT SIDEWALK
	CONSTRUCT BUILDING FOOTPRINT

SITE DATA
TOTAL SITE AREA = 128.07 ACRES
CURRENT ZONING I-1
PARKING PROVIDED = 102
BUILDING HEIGHT = 60'
BUILDING MATERIALS = METAL, GLASS, CONCRETE



Resortments
by Russell Roy

4514 COLE AVENUE
DALLAS, TX 75205
TEL (501) 690-3456
JESS@RESORTMENTS.COM

[illegible]

TEXARKANA INDUSTRIAL PLANT
RESORTMENTS, LLC

TEXARKANA, BOWIE COUNTY, TEXAS

SITE PLAN REVIEW



DATE: 3/13/24
DRAWN BY: JGG
SHEET NUMBER:

C1



Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone
711 TTY
(903) 791-0724 Fax

MEMORANDUM

To: Laura Puckett, Zoning Administrator & Development Service Manager

From: Kenneth L. Icenhower, P.E., Asst Executive Director, TWU

Date: March 21, 2024

Re: **Resortments Warehouse/Manufacturing Building Site Plan**

The Utility staff has reviewed the above site plan and has the following comments:

1. There is no water or sewer service to this area. It will be the owner's responsibility to extend services to the area.
2. The water and sewer mains and lift station shown on the site plan are not approved. More information is required for review.
3. The Utility reserves the right to request additional utility easements upon review of the plans.
4. The Utility has no objections to the site plan location.

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

cc: Gary L. Smith, P.E., Executive Director, TWU
Bill Moss, GIS Asset Management Administrator, TWU
Teresa Akard, O & M Coordinator, TWU
Michelle Warren, Executive Assistant, TWU

Attachment: TWUmemo1 (4218 : Amendment to PD-23-4 site plan approval 500 S Bishop Road)

City of Texarkana, Texas

Summary Sheet

Version:
Update Date: 3/26/2024 10:28 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator

Subject: Planning and Zoning Commission meeting minutes from March 4, 2024.

Meeting Date: 4/1/2024

Attachments

- a. March 4, 2024 P&Z Minutes (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Completed	03/26/2024 10:58 AM	
Planning & Zoning Commission	Mashell Daniel	Department Review
Completed	03/26/2024 10:58 AM	
Planning & Zoning Commission	Laura Puckett	Meeting Pending
04/01/2024 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

See attached minutes from the Planning and Zoning Commission meeting of March 4, 2024.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of the minutes.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

City of Texarkana, Texas**Advisory Board/Committee Meeting Date and Minutes:**

April 4, 2024



CITY OF TEXARKANA
PLANNING & ZONING COMMISSION
MINUTES • MARCH 4, 2024

Council Chambers
Regular Meeting
6:00 PM

220 TEXAS BLVD.
TEXARKANA, TX 75501

I. CALL TO ORDER
II. AGENDA ITEMS

1. Consider approval of the Joshua Tree First Addition being a replat of a portion of Lots 7-10, Carrie D Harts First Addition located at the intersection of Elliott Road and New Boston Road. F.M. Slack, III, owner, and Clint Head, agent.

This plat is to go from one lot to three lots. Chris Sabatina appeared asking about water run off and settlement runoff from build site. It was explained to Mr. Sabatina that this is a plat and not plans for building. He had a few questions not related to platting for City Staff about permitting. His questions were answered by staff.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Tom Coleman, Commissioner
SECONDER:	Brad Bailey, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

2. Consider approval of the replat of Block 6, Tilson's Cotton Belt Addition located at the intersection of South Lelia Avenue and Beaumont Street. 1204 South Lelia Avenue Trust, owner and Jeffrey Wood, MTG Engineers and Surveyors, agent.

Kayla Wood appeared and stated that this was going to plat five lots into one lot and that adjustments were made for the right-of-way.

Attachment: March 4, 2024 P&Z Minutes (4219 : P&Z Commission meeting minutes from March 4, 2024)

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Larkins, Commissioner
SECONDER:	Wanda Northam, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

3. Consider approval of the final and preliminary plat for Roundabout Way Addition No. 1 located at the intersection Roundabout Way and Gibson. Christus Health ARK-LA-TEX and Gibson Park Development, LLP., owners, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

Kayla Wood appeared and stated that this plat was for dedicated right-of-way.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Brad Bailey, Commissioner
SECONDER:	Tom Coleman, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

4. Ordinance No. 2024-021 amending the Zoning Code, Chapter 140, Article VII by adding Section 140-182, "Telecommunications Tower & Stealth Telecommunications Tower", and adding corresponding definitions to Section 140-179 and "Utility and Service Uses" to Section 140-81(b).

Mashell Daniel explained that the Planned Development district was added to the cell tower ordinance.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Tom Coleman, Commissioner
SECONDER:	Wanda Northam, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

5. Ordinance No. 2024-028 amending the Zoning Code, Chapter 140, by adding to Section 140-111, "UPDD University Planned Development District", (6) "Sign regulations" by allowing way-finding guides from street entrances to an educational institution, adding corresponding definitions to Section 140-111 (h); and adding compliance provisions to Section 140-111 (e) (8) b. "Site plan submittal requirements for UPDD."

Mashell Daniel stated that this ordinance is to allow A&M to place street light banners within a 1000' from each direction of the institution.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Brad Bailey, Commissioner
SECONDER:	Tom Coleman, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

6. Z-24-1: rezoning on an approximate 0.17-acre tract of land (being Part of Tract 35), W. H. Ector, HRS, A-695, located at 1319 Richmond Road from Multiple Family-1/Planned Development-General Retail to Neighborhood Service. Sundar Adhikari, owner, and Rita Johnson-Williams, agent.

Rita Williams and the property owner appeared and stated that they want the zoning to align with the store they already own next door. The intention is to build another store.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Larkins, Commissioner
SECONDER:	Wanda Northam, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

7. S-786: Specific Use Permit to allow the location of a daycare on the N1/2 Lots 9-12 and Part of the Alley, Block 55, Grandview, located at 1616 Iowa Street. Callie Donelson, owner, and Stephanie Thompson, agent.

Stephanie Thompson appeared and stated that she want to run a daycare at this location.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Larkins, Commissioner
SECONDER:	Brad Bailey, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

8. Z-24-2: rezoning on an approximate 20.70-acre tract of land (being part of Tracts 9-12, 13, 17, 18 and 19), R. E. Sevey HRS, A-523, located at 2300 Buchanan Road from Single Family-1 to Commercial. Jeff Wright, LEISD, owner, and Robert Sanderson, agent.

Robert Sanderson appeared and wanting to use the existing school building for multiple uses. Notices were sent out to all property within 200'. Gene Joyce suggested that this property should be Planned Development. The Planned Development designation was agreed to by Robert Sanderson.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Tom Coleman, Commissioner
SECONDER:	James Larkins, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

9. Z-24-3: rezoning on N 250' of Lots 7, 8, 9, and 10, Block 2, Carrie D. Harts 1st, located at 4001 New Boston Road from Commercial-Agriculture to Commercial. F.M. Slack, owner, and Clint Head, agent.

This item was tabled. The applicant has COVID and could not be present.

RESULT:	TABLED [UNANIMOUS]	Next: 4/1/2024 6:00 PM
MOVER:	Tom Coleman, Commissioner	
SECONDER:	James Larkins, Commissioner	
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey	
ABSENT:	Kinsey, Boyette, Kernek, Sarine	

10. Z-24-4: rezoning on an approximate 4-acre tract of land (being Tract 64), J. A. Talbot HRS, A-564, located at 5613 Richmond Road from Single Family-1 to Planned Development General Retail. Josh Morriss, Morriss Family LP, owners, and Jason Bolling, Guggenheim Development Services LLC, agent.

Ben Warntjes appeared and stated that a Jiffy Lube will be built at this location. The applicant is asking for a Planned Development designation.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Tom Coleman, Commissioner
SECONDER:	Wanda Northam, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

11. Amendment to PD-24-1(GR) for site plan approval on an approximate 4-acre tract of land (being Tract 64), J. A. Talbot HRS, A-564, located at 5613 Richmond Road. Josh Morriss, Morriss Family LP, owner, and Jason Bolling, Guggenheim Development Services LLC, agent.

Ben Warntjes appeared for Guggenheim presented the site plan for approval.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Brad Bailey, Commissioner
SECONDER:	Tom Coleman, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

III. STAFF UPDATES

Mashell Daniel updated the Commission that there will be an upcoming Scenic City Certification Program that will be presented for voting at next months meeting. The were asked to provide input or comments.

IV. CONSIDER APPROVAL OF MINUTES

1. Consider Planning and Zoning Commission meeting minutes from February 5, 2024.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Wanda Northam, Commissioner
SECONDER:	James Larkins, Commissioner
AYES:	Joyce III, Coleman, Larkins, Northam, Bailey
ABSENT:	Kinsey, Boyette, Kernek, Sarine

V. ADJOURNMENT