



CITY OF TEXARKANA
PLANNING & ZONING COMMISSION
AGENDA • MAY 1, 2023

Council Chambers	Regular Meeting	6:00 PM
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220 TEXAS BLVD.
 TEXARKANA, TX 75501

Chairperson	Commissioner	Commissioner
Gene Joyce III	James Larkins	Brad Bailey
Vice Chairperson	Commissioner	Alternate Commissioner
Dianna Patterson Kinsey	Wanda Northam	Lee Kernek
Commissioner	Commissioner	Alternate Commissioner
Tom Coleman	Casey Boyette	Ross Sarine

I. CALL TO ORDER

II. AGENDA ITEMS

1. Consider reapproval of Replat of Enclave Addition, Lot 1, Block 3 to include only the drainage area (easement). North Park 12 Development, LP, owner and Jeff Whitten, Whitten Civil Engineer, Inc., agent.
2. Consider approval of replat of Lots 2 and 3, Cross Pointe Subdivision, located at the intersection of North Kings Highway and St. Michael Drive. QT South, LLC, owner.
3. Amendment to PD-20-4 (General Retail) for site plan approval on Lot 1, The Grove at Amesdale, located at 5714 Richmond Road. Johnny Gibbs, owner and Kayla Wood, MTG Engineers and Surveyors, agent.
4. S-776: Specific Use Permit to allow one additional use of permanent cosmetics on Lot 1, Richmond Acres Subdivision, located at 5822 Richmond Road. John & Kenzie Bullock, owners, and Jordan Johnson, agent.

5. S-777: Specific Use Permit to allow an assisted living facility on an approximate 11.25-acre tract of land (being Tract 21), Willis Oldham HRS, A-458, located at 5902 North Park Road. C. Jack Smith, owner, and Steve McKee, agent.
6. Z-23-6: rezoning Lot 2, Martha S Pace Subdivision, an approximate 1.499-acre tract of land, located in the 3500 Block of Galleria Oaks Drive. Single Family-1 to Multiple Family-1. Joel S. Pace, Trustee Martha Pace Trust, owner, and Brian Henry, agent.
7. Z-23-11: rezoning WPT Lot 20 and All 21, Block 6, H.S. Janes HRS, A-306, located at 4307 Gazola Street. Single Family-1 to Agriculture. Inez Dixon, owner, and Charles Griffin Jr., agent.
8. Z-23-12: rezoning EPT Lot 20, Block 6, H.S. Janes HRS, A-306, located at 4301 Gazola Street. Single Family-2 to Agriculture. Inez Dixon, owner, and Charles Griffin, Jr., agent.
9. Z-23-13: rezoning Lot 22, Block 6, H.S. Janes HRS, A-306, located at 1312 Letter Carrier Drive. Single Family-2 to Agriculture. Inez Dixon, owner, and Charles Griffin, Jr., agent.

III. STAFF UPDATES

IV. CONSIDER APPROVAL OF MINUTES

1. Consider approval of the April 3, 2023 Planning and Zoning Commission meeting minutes.

V. ADJOURNMENT

This open meeting of a governmental entity is subject to the Texas Open Meetings Act (Chapter 551, Government Code). The "Council Chambers" is the room or property where the Planning and Zoning Commission holds this meeting.

Pursuant to Section 46.035(c), Penal Code (unlawful carrying of handgun by license holder), a license holder commits an offense if the license holder intentionally, knowingly, or recklessly carries a handgun under the authority of Subchapter H, Chapter 411, Government Code, regardless of whether the handgun is concealed or carried in a shoulder or belt holster, in the room or rooms where a meeting of a governmental entity is held and if the meeting is an open meeting subject to Chapter 551, Government Code, and the entity provided notice as required by that chapter.

Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun.

Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.

This meeting is being conducted in accordance with the Americans with Disabilities Act [42 USC 12101 (1991)]. The facility is wheelchair accessible and handicap parking is available. Requests for sign interpretive services are available upon requests received at least 48 hours prior to the meeting. To make arrangements for these services, please call 903.798.3917, Personnel or (TDD) 1.800.RELAY.TX (1.800.735.2989).

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/27/2023 8:34 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator

Subject: Consider reapproval of Replat of Enclave Addition, Lot 1, Block 3 to include only the drainage area (easement). North Park 12 Development, LP, owner and Jeff Whitten, Whitten Civil Engineer, Inc., agent.

Meeting Date: 5/1/2023

Attachments

- a. PlatReview-ReapprovalReplatEnlaveAddition-May2023P&Z (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

See attached memorandum.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends approval of the final plat pending any staff and utility changes.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

City of Texarkana, Texas

May 1, 2023

MEMORANDUM

To: Planning and Zoning Commission

From: Dusty Henslee, P.E., CFM, CPM- 
Assistant City Manager/Director of Public Works

Date: April 25, 2023

Subject: **Consider reapproval of Replat of Enclave Addition**

This is a request by North Park 12 Development, LP, owner, and Jeff Whitten Whitten Civil Eng. Inc., agent to consider approval of the **Replat of Enclave Addition**. The purpose of this plat is to revise Lot 1, Block 3 to include only the drainage area (easement) is a non buildable lot . The remaining portion of the existing lot will be split up amongst the adjoining residential lots.

This is a reapproval of the plat. P&Z originally approved this in December 2022, but plat never got recorded and time expired for the approval.

Staff recommends approval of the final plat pending any staff and utility changes mentioned above. Once the final plat is approved, it must be recorded within 121 days after approval by the Commission or the approval is void.

Attachment: PlatReview-ReapprovalReplatEnclaveAddition-May2023P&Z (3998 : Consider Replat of Enclave Addition)

MEMORANDUM

To: Planning and Zoning Commission

From: Dusty Henslee, P.E., CFM, CPM
Assistant City Manager/Director of Public Works 

Date: November 29, 2022

Subject: **Consider approval of Replat of Enclave Addition**

This is a request by North Park 12 Development, LP, owner, and Jeff Whitten Whitten Civil Eng. Inc., agent to consider approval of the **Replat of Enclave Addition**. The purpose of this plat is to revise Lot 1, Block 3 to include only the drainage area (easement) is a non buildable lot . The remaining portion of the existing lot will be split up amongst the adjoining residential lots.

Comments are as follows:

1. TxDOT – No response
2. Summit Utilities – No Issues
3. Sparklight – No issues
4. Windstream - No response
5. Electric Companies
 - a. AEP – No issues
 - b. Bowie Cass – No issues and not in service area
 - c. REA – No response but not in service area
6. TWU - See Memo
7. PW/Planning Departments
 - a. Tax certificate of the property for recording purposes from BCAD must be provided showing all taxes have been paid for entire property in order to be recorded at the County Courthouse (Texas State Legislature amendment 12.002 of the Texas Property Code)
 - b. Mylar copy and electronic copy via email submitted to Public Works office after recording
8. Fire Department – No response

Staff recommends approval of the final plat pending any staff and utility changes mentioned above. Once the final plat is approved, it must be recorded within 121 days after approval by the Commission or the approval is void.



Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone
711 TTY
(903) 791-0724 Fax

MEMORANDUM

To: Dusty Henslee, P.E., CFM, CSI, Assistant City Manager, City of Texarkana, Texas

From: Gary L. Smith, P.E., Executive Director, TWU

Date: October 19, 2022

Re: **Replat The Enclave at North Park (Replat Lots 17 – 23, Block 3)**

The Utility staff has reviewed the above referenced Replat and has the following comments:

1. There is an existing eight-inch (8") water main on the west side of Enclave Circle, adjacent to the east boundary line of Lots 17 thru 23.
2. There is an existing eight-inch (8") sanitary sewer main on the east side of Enclave Circle and an existing eight-inch (8") sanitary sewer main adjacent to the proposed west boundary line of Lots 17 thru 23.
3. The Utility reserves the right to request additional utility easements upon review of the plans.
4. The size and location of the existing water and sanitary sewer mains have not been field verified. The developer's representative shall field verify the size and location of the existing utilities before designing or constructing extensions of the system

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

cc: Kenny Icenhower, P.E., Design Engineer, TWU
Bill Moss, GIS Technician, TWU
Teresa Akard, Engineering Technician II, TWU
Pam White, Administrative Coordinator, TWU

Attachment: PlatReview-ReapprovalReplatEnclaveAddition-May2023P&Z (3998 : Consider Replat of Enclave Addition)



CITY OF

TEXARKANA

TEXAS

P.O. Box 1967
Texarkana, TX 75504
Phone (903) 798-3900

Application for Subdivision Plat Approval

Type:

 Preliminary Final X Replat Minor Amended Vacation

Purpose of Plat: Eliminate perimeter Homeowner Lot and add property to perimeter lots

Plat Title: Replat The Enclave at North Park

Current Legal Description: The Enclave at North Park

Total Acreage: 11.634 **Number of Lots:** 38 **Zoning:** PUR

Owner/Developer Information:

Name: North Park 12 Development, LP

Address: 7265 SW HWY 200, Ocala, FL 34476

Phone: () 352.857.6322

Fax: ()

Work E-mail: jrk@fibervisionfl.com

Surveyor/Engineer Information:

Name: Eugene Plunk - Plunk Land Surveying

Address: 3605 Jefferson Avenue, Texarkana AR 71854

Phone: () 870.779.8002

Fax: ()

Work E-mail: eugene@plunklandsurveying.com

Applicant/Agent Information:

Name: Jeff Whitten - Whitten Civil Engineering, Inc.

Address: 142 Weatherby Drive, Hooks, TX 75561

Phone: () 903.278.1821

Fax: ()

Work E-mail: jwhitten@whittence.com

Required Documents:

- ☐ 1 Electronic Copy of Plat
- ☐ 1 Fullsize Copy of Plat (24"x36")
- ☐ 1 Halfsize Copy of Plat (11"x17")
- ☐ Most Current Recorded Subdivision Plat for Replat or Amendment

Owners/Applicant Certification

A plat application will not be considered filed pursuant to Section 212.009 of the Texas Local Government Code until all required documents and fees have been submitted and all of the terms and conditions of the City of Texarkana Subdivision Ordinance, including all necessary studies, plans, and supporting information are accepted and approved. All necessary plat checklists and fees must also be turned in with this application.

I certify that the information on this form and the attached plats is true and accurate to the best of my/our knowledge and that all necessary documents have been submitted for approval, and all terms and conditions of the City of Texarkana, Texas Subdivision Ordinance have been met. I understand that the City may reject this application if any information that is submitted is incomplete.

JEFF WHITTEN

Applicant's Printed Name

[Signature]

Applicant's Signature

10/13/2022

Date

Application Fee:

Received by:

Revised: 12/21/2015



CITY OF

TEXARKANA

TEXAS

P.O. Box 1967
 Texarkana, TX 75504
 Phone (903) 798-3900

REPLAT CHECKLIST

GENERAL INFORMATION / PROJECT DESCRIPTION

Date, written and graphic scale (100 scale or smaller) and north arrow	☒
Location Map for proposed development	☒
Title and Name of Subdivision	☒
Legal Description and identification of tract being subdivided or resubdivided	☒

1. Legal description shall be referenced to a previous recorded subdivision

SPECIFIC PLAT INFORMATION

Names or designations of all adjoining subdivisions or properties	☒
Adjacent dedicated streets, alleys, and easements	☒
Outline of proposed tract (shall stand out compared to other boundary lines)	☒
Location and designation of all streets, alleys, and other areas with dimensions that are intended for public use	☒
All block, lot and street boundary lines	☒

1. Blocks and lots shall be numbered

2. Building lines and easements are shown

a. Commercial (15')

b. Residential (25')

c. In PUR, building line is not less than 15'

Surveyor Note explaining purpose of Replat	☒
100 Year FEMA Flood Zones	☒
Finish Floor Elevations (lots adjacent to flood zones and drainage facilities)	☒
Shown all necessary dimensions	☒
Supplemental Survey Reference Markers	☒
Certificate of ownership	☒
Certificate of surveyor	☒
Certificate of approval by planning and zoning commission	☒

CERTIFICATION STATEMENT

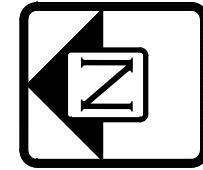
I have reviewed the checklist and submittals for completeness and accuracy. I understand this plat will not be reviewed until all information is included.

Jeff Whitten
 Signature
Jeff Whitten
 Printed Name

Date

10/13/2022

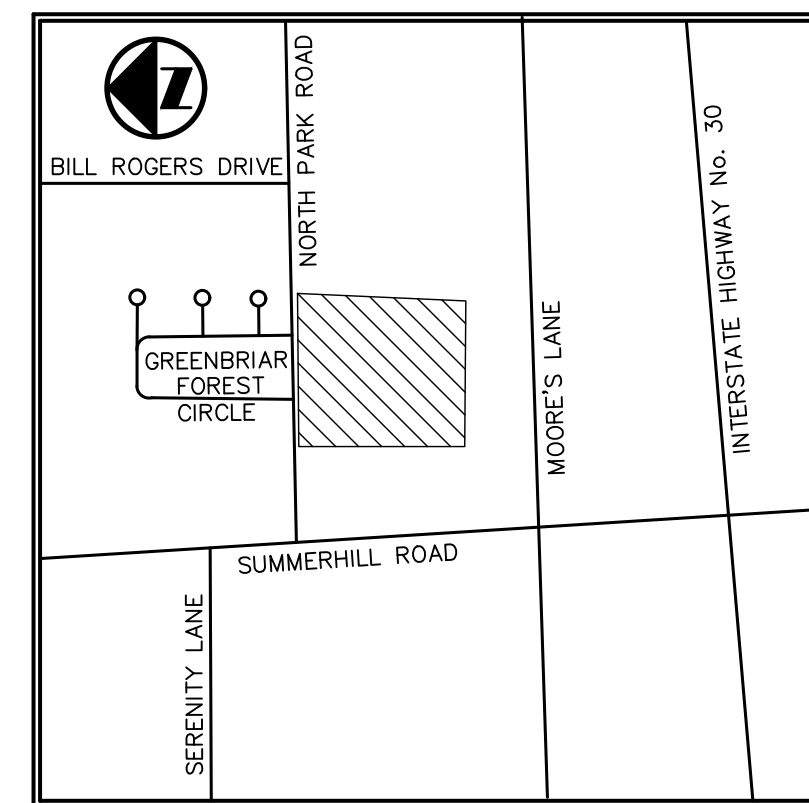
Attachment: PlatReview-ReapprovalReplatEnclaveAddition-May2023P&Z (3998 : Consider Replat of Enclave Addition)



0 25 50 100 150
GRAPHIC SCALE IN FEET

#	DESCRIPTION	NORTHING	EASTING
1	INTERSECTION OF CENTERLINE OF ENCLAVE CIRCLE (NORTH & EAST)	7972.5531	5388.1453
2	INTERSECTION OF CENTERLINE OF ENCLAVE CIRCLE (EAST & SOUTH)	7613.1273	5398.9987
3	INTERSECTION OF CENTERLINE OF ENCLAVE CIRCLE (SOUTH & WEST)	7601.2915	5024.2661
4	INTERSECTION OF CENTERLINE OF ENCLAVE CIRCLE (WEST & NORTH)	7959.5438	5012.5824

ROY & SUE HALEY
(VOLUME 3866, PAGE 027)



THIS IS TO CERTIFY: that this plat and field notes correctly reflect the results of a survey made by us on the ground covering all that certain tract or parcel of land situated in the A.J. KING HEADRIGHT SURVEY, ABSTRACT No. 331, Bowie County, Texas, and being a part of the same tract of land conveyed to North Park 12 Development, L.P., a Texas limited partnership, by General Warranty Deed recorded in Volume 3860, Page 76 of the Deed Records of Bowie County, Texas, and the subject tract being more particularly described by metes and bounds as follows:

BEGINNING, at a 1/2-inch reinforcing steel rod set for the northwest corner of said 11.634 acre tract; said point also being in the south line of North Park Road and being South 01 degree, 56 minutes, 33 seconds East, a distance of 27.70 feet from the northwest corner of the A. J. KING HEADRIGHT SURVEY; said point also being the northeast corner of a tract of land described to J.J. Bramhall as recorded in Volume 3715, Page 324 of the Deed Records of Bowie County, Texas;

THENCE, North 87 degrees, 57 minutes, 42 seconds East, departing the east line of said Bramhall tract and along the north line of said 11.634 acre tract and along the said south line of North Park Road, a distance of 683.42 feet to a 1/8"x3/4" steel strap found at the northeast corner of said 11.634 acre tract; said point also being the northwest corner of a tract of land described in deed to Roy & Sue Haley as recorded in Volume 3866, Page 27 of the Real Property Records of Bowie County, Texas;

THENCE, South 01 degree, 47 minutes, 13 seconds East, departing the said south line of North Park Road and along the east line of said 11.634 acre tract and along the west line of said Haley tract, a distance of 683.42 feet to a 1/2-inch iron rod found for corner; said point being the southeast corner of said 11.634 acre tract and the southwest corner of said Haley tract; said point also being in the north line of Lot 2A of the Second Amended Replat of Lot 2, of the Replat of Parcel 2, Block 3, Galleria Oaks No. 1, an addition in the City of Texarkana, Texas as recorded in Volume 4303, Page 129 of the Real Property Records of Bowie County, Texas;

THENCE, South 89 degrees, 30 minutes, 34 seconds West, departing the west line of said Haley tract and along the south line of said 11.634 acre tract and along the north line of said Lot 2, and subsequently along the north line of Lot 1, Parcel 2, Block 3, Galleria Oaks No. 1, an addition to the City of Texarkana, Texas as recorded in Volume 3651, Page 274 of the Real Property Records of Bowie County, Texas, and subsequently with the north line of Parcel 1, Block 3, Galleria Oaks No. 1, an addition to the City of Texarkana, Texas as recorded in Volume 1198, Page 35 of the Real Property Records of Bowie County, Texas, in all, a distance of 752.06 feet to a 1/2-inch iron rod found for corner; said point being the southwest corner of said 11.634 acre tract; said point also being the northwest corner of said Parcel 1; said point also being in the east line of North Park Estates, an addition to the City of Texarkana, Texas as recorded in Volume 896, Page 226 of the Real Property Records of Bowie County, Texas;

THENCE, North 01 degree, 56 minutes, 33 seconds West, departing the north line of said Parcel 1 and along the west line of said 11.634 acre tract and along the east line of said North Park Estates and subsequently with the east line of said Bramhall tract, in all a distance of 663.10 feet to the POINT OF BEGINNING;

CONTAINING, 506,799 square feet or 11.634 acres of land, more or less.

CERTIFICATE OF SURVEYOR

I, Johnny E. Plunk, Jr. do hereby certify that I am a Registered Professional Land Surveyor in the State of Texas, and that the plat of the hereon described subdivision correctly reflects the results of a survey made under my supervision on the ground on the 14th day of August, 2002, and that the corner monuments are in place at the points on the boundary of the subdivision as shown on the plat of same, and that there are no encroachments or discrepancies and that the subdivision is to be known as THE ENCLAVE AT NORTH PARK, being a part of the Thomas Pendergraft Headright Survey, Abstract No. 482, Bowie County, Texas.

Johnny E. Plunk, Jr.
Registered Professional
Land Surveyor
Texas No. 5080

TO THE LIENHOLDERS AND/OR THE OWNERS OF THE PREMISES SURVEYED AND TO THE TITLE COMPANY: The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct, and that any discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments of improvements apparent or visible easements or rights-of-way are as shown hereon and/or described herein as best can be determined by documents provided and as per on the ground survey, and that said property has access to and from a dedicated roadway.

According to the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel No. 480060 0005 B, effective date September 3, 1992, the herein described tract land does not appear to lie within a Special Flood Hazard Area, as shown on plat.

LOT 2A, REPLAT OF PARCEL 2,
BLOCK 3, GALLERIA OAKS No. 1
(VOLUME 4303, PAGE 129)

LOT 1, PARCEL 2, BLOCK 3,
GALLERIA OAKS No. 1
(VOLUME 3651, PAGE 274)

PARCEL 1, BLOCK 3,
GALLERIA OAKS No. 1
(VOLUME 1198, PAGE 35)

LINE	BEARING	DISTANCE
L1	S88°13'15"W	19.29
L3	S01°52'05"E	10.00
L4	S01°52'05"E	17.50
L7	S01°43'47"E	16.47
L8	S01°48'33"E	10.00
L11	N90°00'00"W	9.98
L12	S88°00'58"W	10.73

CURVE	DELTA	RADIUS	TANGENT	LENGTH
C1	90°00'00"	25.00'	25.00'	39.27'
C2	23°09'24"	30.00'	6.15'	12.12'
C3	14°01'13"	50.00'	138.09'	122.34'
C4	26°46'52"	30.00'	7.14'	14.02'
C5	90°15'15"	25.00'	25.11'	39.38'
C6	23°51'29"	50.00'	10.56'	20.82'
C7	58°09'28"	50.00'	27.81'	50.75'
C8	58°10'35"	50.00'	27.82'	50.77'
C9	12°09'24"	30.00'	3.15'	6.29'
C10	14°45'28"	30.00'	3.89'	7.74'
C11	26°48'11"	30.00'	7.15'	14.03'
C12	14°01'12"	50.00'	138.45'	122.42'
C13	23°33'47"	30.00'	6.26'	12.34'
C14	89°56'14"	25.00'	24.97'	39.24'
C15	91°05'05"	30.00'	2.43'	4.84'
C16	17°33'06"	30.00'	4.63'	9.19'
C17	55°21'43"	50.00'	26.73'	48.31'
C18	56°01'39"	50.00'	26.60'	48.89'
C19	28°53'50"	50.00'	12.88'	25.22'
C20	26°05'02"	30.00'	6.95'	13.66'
C21	140°50'28"	50.00'	140.58'	122.91'
C22	24°48'58"	30.00'	8.60'	12.99'
C23	80°56'28"	25.00'	24.97'	39.24'
C24	13°59'25"	30.00'	3.68'	7.33'
C25	12°05'37"	30.00'	3.18'	6.33'
C26	56°10'50"	50.00'	26.69'	49.03'
C27	52°53'17"	50.00'	24.87'	46.15'
C28	31°46'21"	50.00'	14.23'	27.73'
C29	24°47'54"	30.00'	8.60'	12.98'
C30	140°29'45"	50.00'	139.25'	122.61'
C31	25°36'31"	30.00'	6.83'	13.41'
C32	89°53'03"	25.00'	24.95'	39.22'
C33	18°09'24"	50.00'	7.99'	15.84'
C34	54°24'56"	50.00'	25.71'	47.49'
C35	58°30'49"	50.00'	28.01'	51.06'
C36	9°24'38"	50.00'	4.12'	8.21'
C37	90°13'54"	25.00'	25.10'	39.37'

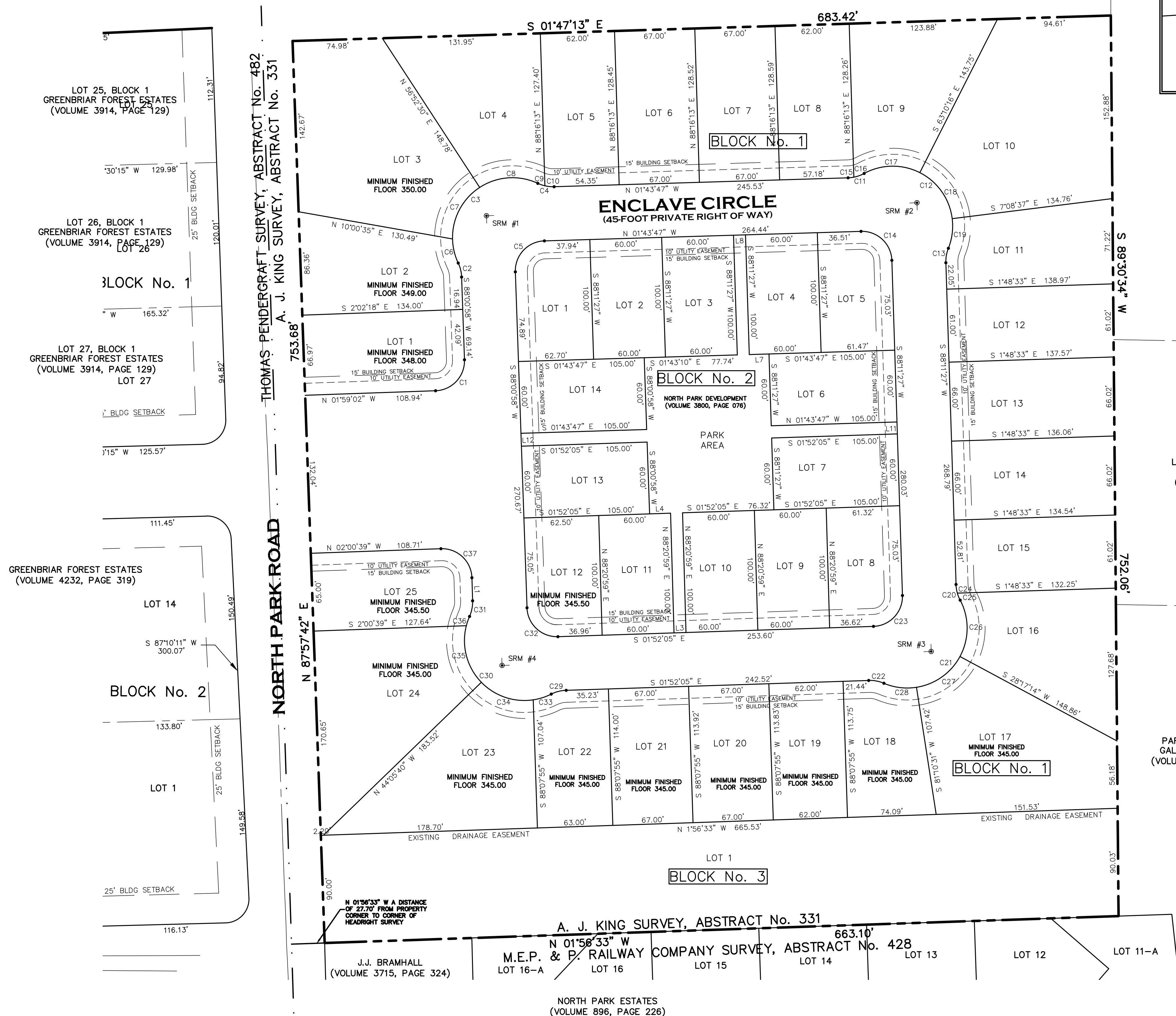
THE PURPOSE OF THIS REPLAT IS REVISE THE SIZE OF LOT 1, BLOCK 3 TO ONLY BE COMPRISED OF THE DRAINAGE EASEMENT PREVIOUSLY DEDICATED ALONG THE WESTERN PROPERTY LINE OF THE SUBDIVISION AND EXTEND THE PERIMETER LOT LINES OF THE BLOCK 1 LOTS TO THE PERIMETER OF THE SUBDIVISION. THE WEST (PERIMETER) LOT LINES OF LOTS 17-24, BLOCK 1 WILL BE EXTENDED TO THE EASTERN BOUNDARY OF LOT 1, BLOCK 3.

REPLAT THE ENCLAVE AT NORTH PARK

COPYRIGHTED MATERIAL. DO NOT REPRODUCE THIS PLAT.
This document contains confidential information intended only for the use of the client. Unauthorized reproduction without written permission of the surveyor is strictly prohibited.

PLUNK LAND SURVEYING 3605 JEFFERSON AVENUE TEXARKANA, ARKANSAS 71854 PHONE (870) 779-8002 TX FIRM NO. 10073800 - AR COA NO. 1711	11.634 ACRES A.J. KING HRS., A-331 TEXARKANA, BOWIE COUNTY, TEXAS SCALE: 1"=50' DRAWN BY: JEW	DATE: 10/12/2022 JOB NO: 11028
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SHEET 1 OF 3



NOTE:

ENCLAVE CIRCLE, PARK AREA LOT DESIGNATED IN BLOCK 2 AND DRAINAGE EASEMENT DESIGNATED AS LOT 1, BLOCK 3 ARE NON-RESIDENTIAL BUILDING SITES AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

ALL OF THE LOTS IN THIS ADDITION WILL BE CLASSIFIED AS PATIO HOMES BY THE ZONING ORDINANCE AND HAVE THE FOLLOWING SETBACKS:
FRONT YARD: 15-FEET
REAR YARD: 10-FEET
SIDE YARD: 7-FEET

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION

We, the undersigned, do hereby certify that the plat of THE ENCLAVE AT NORTH PARK, being a part of the Thomas Pendergraft Headright Survey, Abstract No. 482, Bowie County, Texas, together with the OWNER'S CERTIFICATE and the SURVEYOR'S CERTIFICATE on the same, was presented to the Planning Commission of the City of Texarkana, Bowie County, Texas, for its approval that said plat, OWNER'S CERTIFICATE and SURVEYOR'S CERTIFICATE being found to conform to the platting requirements in all respects are in all things approved on the day of December, 2002.

Chairman _____ Secretary _____

THE CERTIFICATE OF APPROVAL BY THE PLANNING AND ZONING COMMISSION SHALL BE NULL AND VOID SHOULD THIS PLAT NOT BE PROPERLY AND DULY FILED AND RECORDED WITH THE PROPER AUTHORITIES BY THE DAY OF

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lots 3, 8–11, 15, 17 & 19–25 of Block , Lots 1, 8, 11, 12 & 15 of Block 2 and Lot 1, Block 3 and have caused the same to be surveyed, platted and subdivided as shown hereon and which addition shall hereafter by known as THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Jess R. King, Chief Executive
North Park 12 Development, L.P.

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Jess R. King, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 5, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Michael Guillot Bobbie Guillot

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Michael & Bobbie Guillot~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 13, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Diana Davis

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Diana Davis~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 1, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Stan Stevens Gayla Stevens

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Stan & Gayla Stevens~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 6 in Block 1 and Lots 2 & 9 of Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Donnie Powers Kathryn Powers

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Donnie & Kathryn Powers~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 14 of Block 1 and Lot 4 of Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Kenneth Yowell Barbara Yowell

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Kenneth & Barbara Yowell~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 2, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Glenda Williams

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Glenda Williams~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 7, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Brenda Sutton

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Brenda Sutton~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 16, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Beverly Greer–Simpson

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Beverly Greer–Simpson~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 4, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Jimmy Hedrick Sandra Hedrick

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Jimmy & Sandra Hedrick~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 12, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Lonnie Binnicker Janet Binnicker

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Lonnie & Janet Binnicker~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 18, Block 1, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Matthew Walter Judy Walter

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared ~~Matthew & Judy Walter~~, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

REPLAT
THE ENCLAVE
AT NORTH PARK

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PLUNK LAND SURVEYING 3605 JEFFERSON AVENUE TEXARKANA, ARKANSAS 71854 PHONE (870) 779–8002 TX FIRM NO. 10073809 – AR COA NO. 1711	11.634 ACRES A.J. KING HRS., A–331 TEXARKANA, BOWE COUNTY, TEXAS SCALE: 1"=50' DATE: 10/12/2022 DRAWN BY: JDW JOB NO: 11028
---	---

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 3, Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Laroy ThomasJane Thomas

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Laroy & Jane Thomas, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 10, Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Jerry ThomasSheri Thomas

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Jerry & Sheri Thomas, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 5, Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Laura King

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Laura King, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 13, Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Dennis LewisPaula Lewis

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Dennis & Paula Lewis, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 6, Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Sally Patton

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Sally Patton, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 14, Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Kirby Adams

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Kirby Adams, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of Lot 7, Block 2, THE ENCLAVE AT NORTH PARK, being part of the A.J. KING Headright Survey, Abstract No. 331, Bowie County, Texas, and by these presents, the undersigned hereby dedicated to the public in fee simple, the easements shown hereon for drainage and/or utility purpose.

Larry BunnJoanne Bunn

NOTARY ACKNOWLEDGEMENT

STATE OF TEXAS
COUNTY OF BOWIE

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Larry & Joanne Bunn, known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purpose and consideration therein expressed.

GIVE UNDER MY HAND AND SEAL OF OFFICE on this the ____ day of _____, 2022.

Notary Public in and for Bowie County, Texas

My Commission expires the ____ day of _____, ____.

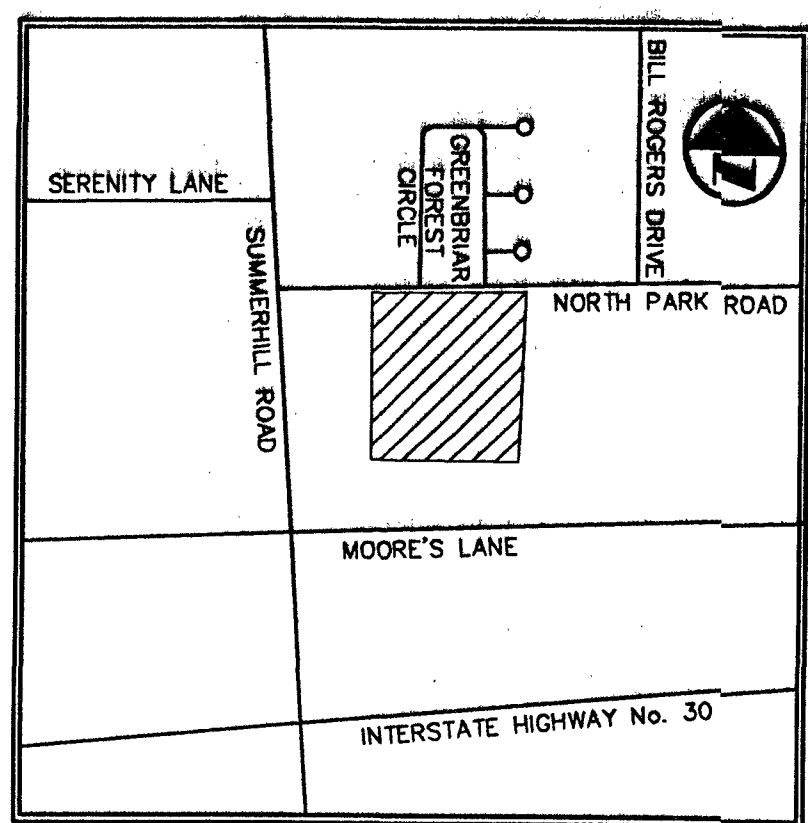
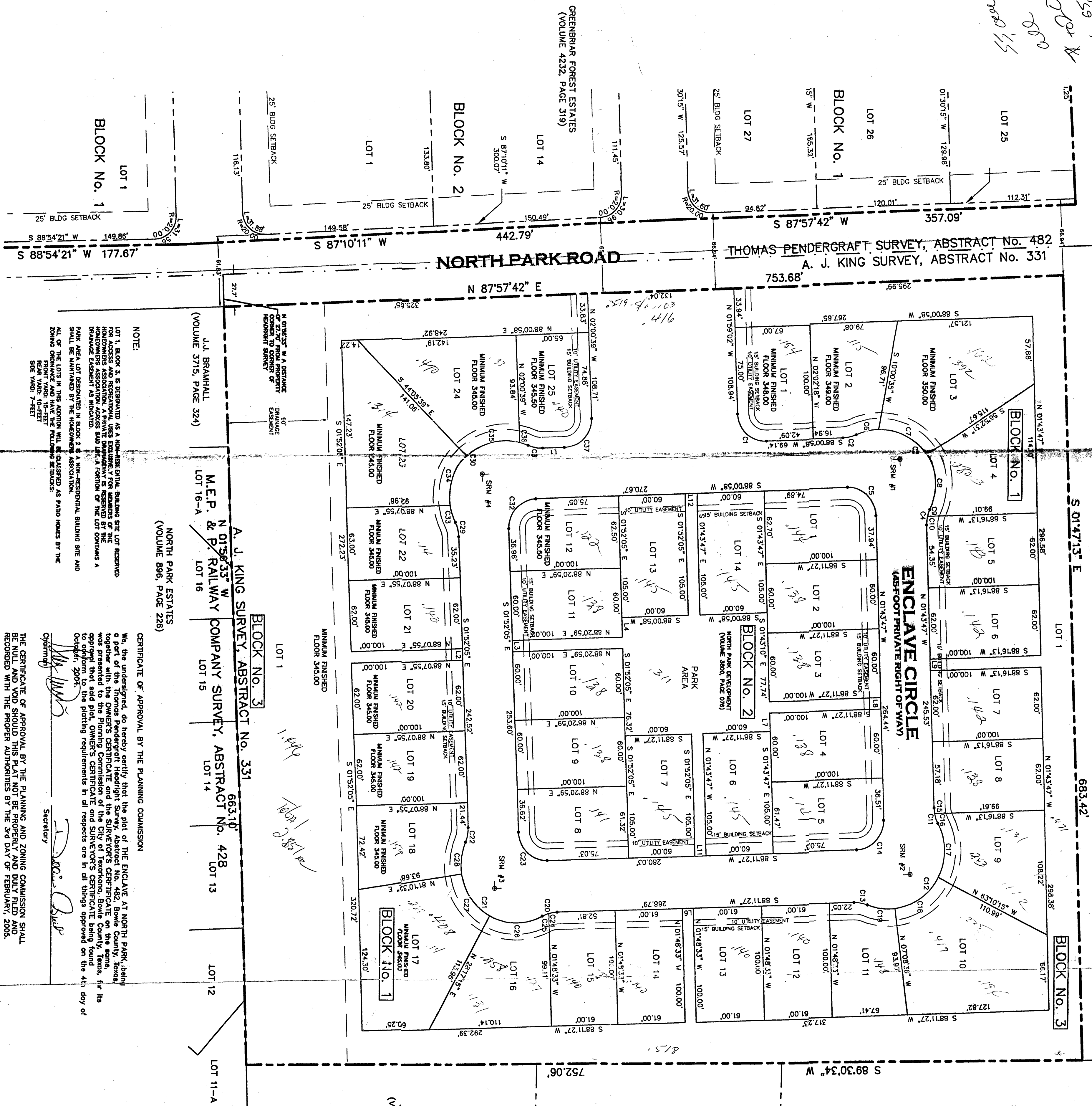
REPLAT
THE ENCLAVE
AT NORTH PARK

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PLUNK LAND SURVEYING 3605 JEFFERSON AVENUE TEXARKANA, ARKANSAS 71854 PHONE (870) 779-8002		11.634 ACRES A.J. KING HRS., A-331 TEXARKANA, BOWE COUNTY, TEXAS SCALE: 1"=50' DATE: 10/12/2022 DRAWN BY: JDB JOB NO: 11028	
TX FIRM NO. 10073809 - AR COA NO. 1711			



#	DESCRIPTION	%	NO. RINGS	CASTING
1	INTERSECTION OF CENTRIFUGAL & ENCLAVE CIRCLE (NORTH & EAST)	797.5531	5398.1453	
2	INTERSECTION OF CENTRIFUGAL & ENCLAVE CIRCLE (EAST & SOUTH)	761.1273	5398.9987	
3	INTERSECTION OF CENTRIFUGAL & ENCLAVE CIRCLE (SOUTH & WEST)	760.5015	5024.2661	
4	INTERSECTION OF CENTRIFUGAL & ENCLAVE CIRCLE (WEST & NORTH)	795.5408	5012.5824	

ROY & SUE HALEY
(VOLUME 3866, PAGE 027)



LOT 2A, REPLAT OF PARCEL 2
BLOCK 3, GALLERIA OAKS NO.
(VOLUME 4303, PAGE 129)

LINE	LINE TABLE	DISTANCE
L1	S8931357	10.29
L2	S0132057	10.00
L3	S0132057	10.00
L4	S0132057	11.50
L6	S881127W	10.00
L7	S013377E	16.47
L8	S013833E	10.00
L9	S013377E	10.00
L11	N8200380W	10.93
L12	S8930380W	9.73

LOT 1, PARCEL 2, BLOCK 3,
GALLERIA OAKS No. 1
(VOLUME 3651, PAGE 274)

CURVE			CURVE TABLE		
CURVE	DELTA	RADIUS	TANGENT	LENGTH	
C1	90.000°	25.00	25.00	38.27	
C2	23.932°	30.00	6.15	12.42	
C3	14.011°	50.00	1.98.08	172.54	
C4	26.645°	30.00	7.14	14.02	
C5	80.151°	26.00	25.11	39.58	
C6	25.932°	50.00	10.56	50.62	
C7	14.011°	50.00	20.72	172.54	
C8	58.910°	30.00	3.15	6.07	
C9	12.000°	30.00	3.15	5.87	
C10	14.044°	26.00	3.89	7.74	
C11	26.481°	30.00	14.03	14.03	
C12	14.011°	50.00	1.98.45	172.42	
C13	80.151°	26.00	25.11	39.54	
C14	88.534°	30.00	2.57	3.94	
C15	8.115°	30.00	4.53	4.84	
C16	55.921°	30.00	4.63	9.19	
C17	21.130°	30.00	26.33	48.31	
C18	56.910°	50.00	26.67	48.89	
C19	26.530°	30.00	12.68	25.42	
C20	14.011°	50.00	14.58	122.91	
C21	14.050°	50.00	16.87	122.91	
C22	21.48°	30.00	6.60	12.99	
C23	89.58°	26.00	24.97	39.24	
C24	13.582°	30.00	3.68	7.53	
C25	17.053°	30.00	3.18	6.33	
C26	26.530°	30.00	26.67	48.93	
C27	25.932°	50.00	10.56	50.62	
C28	31.46°	50.00	14.52	122.31	
C29	21.414°	30.00	6.60	12.98	
C30	21.429°	50.00	13.25	122.61	
C31	14.029°	30.00	3.82	13.41	
C32	25.932°	30.00	24.95	39.22	
C33	88.534°	26.00	2.57	3.94	
C34	55.921°	30.00	25.71	48.89	
C35	58.910°	50.00	28.01	51.05	
C36	90.134°	26.00	41.7	8.31	
C37	90.134°	26.00	39.37	39.37	

1. Wallace D. Roy do hereby certify that I am a Registered Professional Land Surveyor in the State of Texas, and that the plat of the herein described subdivision correctly reflects the results of a survey made under my supervision on the 14th day of August, 2002, and that the corner monuments are in place at the points on the boundary of the subdivision as shown on the plat. I am not aware of any error or mistake in the plat or the accompanying plat notes, and I am not aware of any encroachments or other matters that should be shown on the plat. The ENCLAVE AT NORTH PLAINS being a part of the Thomas Sandberg et al. (Midnight) Survey, Abstract No. 452, Bexar County, Texas.

Wallace D. Roy

Wallace D. Roy
Registered Professional Land Surveyor
No. 1207
Texas, No. 1207

STATE OF TEXAS
COUNTY OF BEXAR
WALLACE D. ROY
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 1207
LAND SURVEYOR
CAND. 0000000000

Filed for Record
Bexar County
KELM HINDS
County Clerk
Bexar County
Date Filed 03/20/05

TO THE LENDHOLDERS AND/OR THE OWNERS OF THE PREMISES SURVEYED AND TO THE TITLE COMPANY: The undersigned does hereby certify that this survey was this day made on the ground of the property legally described hereon and is correct, and that any other encumbrances, conflicts, shortages in area, boundary line conflicts, encroachments or improvements apparent or visible on or off the ground surveyed, and that said property has deeded to and from a deeded trustee(s) as shown on the plat, and as set out on the ground survey, and that said property has deeded to and from a deeded trustee(s) as shown on the plat.

According to the Federal Emergency Management Agency Flood Insurance Rate Map Community Special No. 480380 0005 B, effective until September 3, 1992, the herein described tract land does appear to be within a Special Flood Hazard Area, as shown on said plat.

THE BEGINNING of a 1/2-inch reflecting steel rod and for the northwest corner of said 115.53 acre tract, said point also being in the northeast corner of said Road and being Steel Rod No. 35, measures .33 seconds East, a distance of 172.70 feet from this point to the northeast corner of said Road and being Steel Rod No. 36, measures 1/2 inch North, a distance of 1.00 foot to a stake of a tract of land described to and by S. H. Ste. Hillyer, as recorded in Volume 3806, Page 27 of the said Property Records of Boone County, Texas.

THENCE, North 81 degrees 57 minutes, 42 seconds East, depicting the west line of said granted tract and along the north line of said 115.53 acre tract and along the said south line of North Park tract, a distance of 725.88 feet to a 1/2-inch steel rod described to and by S. H. Ste. Hillyer, as recorded in Volume 3806, Page 27 of the said Property Records of Boone County, Texas.

THENCE, South 01 degree, 47 minutes, 13 seconds East, depicting the said south line of North Park tract and along the east line of said 115.53 acre tract and along the west line of said 115.53 acre tract, a distance of 683.42 feet to a 1/2-inch steel rod described to and by S. H. Ste. Hillyer, as recorded in Volume 3806, Page 27 of the said Property Records of Boone County, Texas, also being in the north line of Lot 2A of the Second Amended Survey of Lot 2, of the Tract of said Lot 2, Block 3, Colored Dogs 1, 2, 3, 4, an addition in the City of Texarkana, Texas as recorded in Volume 4503, Page 120 of the said Property Records of Boone County, Texas.

THENCE, South 89 degrees 30 minutes, 34 seconds West, depicting the west line of said Hillyer tract and along the south line of said 115.53 acre tract and along the north line of said 115.53 acre tract, a distance of 725.88 feet to a 1/2-inch steel rod described to and by S. H. Ste. Hillyer, as recorded in Volume 3806, Page 27 of the said Property Records of Boone County, Texas, and subsequently with the north line of said Parcel 1, Block 3, Colored Dogs No. 1, an addition to the City of Texarkana, Texas as recorded in Volume 3851, Page 374 of the said Property Records of Boone County, Texas, and subsequently with the north line of said Parcel 1, Block 3, Colored Dogs No. 1, an addition to the City of Texarkana, Texas as recorded in Volume 3851, Page 374 of the said Property Records of Boone County, Texas, and subsequently with the north line of said Parcel 1, Block 3, Colored Dogs No. 1, an addition to the City of Texarkana, Texas as recorded in Volume 3851, Page 374 of the said Property Records of Boone County, Texas, a distance of 752.06 feet to a 1/2-inch iron rod found for corner; said point also being in the northeast corner of said 115.53 acre tract and point also being the northwest corner of said Parcel 1, said point also being in the west line of said North Park Estates, an addition to the City of Texarkana, Texas as recorded in Volume 3801, Page 226 of the said Property Records of Boone County, Texas.

THENCE, North 01 degree, 56 minutes, 33 seconds East, depicting the north line of said Parcel 1 and along the west line of said 115.53 acre tract and along the east line of said 115.53 acre tract, a distance of 683.42 feet to a 1/2-inch steel rod described to and by S. H. Ste. Hillyer, as recorded in Volume 3806, Page 27 of the said Property Records of Boone County, Texas, also being in the north line of Lot 2A of the Second Amended Survey of Lot 2, of the Tract of said Lot 2, Block 3, Colored Dogs 1, 2, 3, 4, an addition in the City of Texarkana, Texas as recorded in Volume 4503, Page 120 of the said Property Records of Boone County, Texas.

THENCE, North 89 degrees 30 minutes, 34 seconds West, depicting the west line of said Hillyer tract and along the south line of said 115.53 acre tract and along the north line of said 115.53 acre tract, a distance of 725.88 feet to a 1/2-inch steel rod described to and by S. H. Ste. Hillyer, as recorded in Volume 3806, Page 27 of the said Property Records of Boone County, Texas, and subsequently with the north line of said Parcel 1, Block 3, Colored Dogs No. 1, an addition to the City of Texarkana, Texas as recorded in Volume 3851, Page 374 of the said Property Records of Boone County, Texas, and subsequently with the north line of said Parcel 1, Block 3, Colored Dogs No. 1, an addition to the City of Texarkana, Texas as recorded in Volume 3851, Page 374 of the said Property Records of Boone County, Texas, a distance of 752.06 feet to a 1/2-inch iron rod found for corner; said point also being in the northeast corner of said 115.53 acre tract and point also being the northwest corner of said Parcel 1, said point also being in the west line of said North Park Estates, an addition to the City of Texarkana, Texas as recorded in Volume 3801, Page 226 of the said Property Records of Boone County, Texas.

THENCE, North 01 degree, 56 minutes, 33 seconds East, depicting the north line of said Parcel 1 and along the west line of said 115.53 acre tract and along the east line of said 115.53 acre tract, a distance of 683.42 feet to a 1/2-inch steel rod described to and by S. H. Ste. Hillyer, as recorded in Volume 3806, Page 27 of the said Property Records of Boone County, Texas, also being in the north line of Lot 2A of the Second Amended Survey of Lot 2, of the Tract of said Lot 2, Block 3, Colored Dogs 1, 2, 3, 4, an addition in the City of Texarkana, Texas as recorded in Volume 4503, Page 120 of the said Property Records of Boone County, Texas.

CONTAINING 506,799 square feet or 11.5534 acres of land, more or less.

CERTIFICATE OF DEDICATION BY THE OWNER

I, the undersigned, being the owner of the herein described tract of land have caused the same to be surveyed, plotted and subdivided as shown hereon and which oddity soil heretofore by known as THE ENCLAVE AT NORTH PARK, a part of the A-1, JMC Hodgepit Survey, Abstract No. 231, Boone County, Texas, and by these presents, the undersigned hereby, dedicated to the public in the same, the streets, roads and alleys shown on this plat and by this instrument, the undersigned dedicated the easements shown hereon for drainage and/or utility purpose.

NOTARY ACKNOWLEDGEMENT

1982	Vol	Page
1982	4529	217
1982	Vol	Page
1982	4529	224

Before me, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Juan R. King known to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this the 31ST day of SEPTEMBER, 2008.

Shirley A. Hanks Notary Public in and for said County, Texas
 TASH TAT

My Commission expires the 4TH day of JULY, 2008.

2008. 2008 TAT

441615 ARIANE HUGHES
 Notary Public in and for the State of Texas
 My Comm. Expires on
 July 09, 2008

FINAL PLAT
THE ENCLAVE
AT NORTH PARK
LOCATED IN THE CITY OF TEXARKANA, TEXAS
AND BEING OUT OF THE
A.J. KING HEADRIGHT SURVEY, ABSTRACT NO. 331
BOWIE COUNTY, TEXAS

W

CE

WHITTEN

CIVIL ENGINEERING, INC.

5502 COWHORN CREEK ROAD, SUITE B TEXARKANA, TEXAS 75503
 P-803.534.8577 WWW.WHITTEN-CE.COM F-803.534.8575

DESIGN:	DRAWN:	DATE	SCALE
JDW	JDW	2003	1"=50'
		11-02-02	02-02-22

WCE JOB NO.

11-02-02

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/27/2023 8:40 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator

Subject: Consider approval of replat of Lots 2 and 3, Cross Pointe Subdivision, located at the intersection of North Kings Highway and St. Michael Drive. QT South, LLC, owner.

Meeting Date: 5/1/2023

Attachments

- a. PlatComments-RpltLots2and3CrossPointe-May2023P&Z (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

See attached memorandum.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends approval of the final plat pending any staff and utility changes.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

City of Texarkana, Texas**Advisory Board/Committee Meeting Date and Minutes:**

May 1, 2023

MEMORANDUM

To: Planning and Zoning Commission

From: Dusty Henslee, P.E., CFM, CPM 
Assistant City Manager/Director of Public Works

Date: April 25, 2023

Subject: **Consider approval of Replat of Lots 2 and 3 Cross Pointe Subdivision**

This is a request by QT South, LLC, owner and agent to consider approval of the **Replat of Lots 2 and 3 Cross Pointe Subdivision**. The purpose of this plat is to combine lot 2 and part of lot 3 into 1 lot.

Comments are as follows:

1. TxDOT – No response
2. Summit Utilities – No Issues
3. Sparklight – No issues
4. Windstream - No response
5. Electric Companies
 - a. AEP – No issues
 - b. Bowie Cass – No issues
 - c. REA – No response but not in service area
6. TWU - See Memo
7. PW/Planning Departments
 - a. Tax certificate of the property for recording purposes from BCAD must be provided showing all taxes have been paid for entire property in order to be recorded at the County Courthouse (Texas State Legislature amendment 12.002 of the Texas Property Code)
 - b. Mylar copy and electronic copy via email submitted to Public Works office after recording
8. Fire Department – No issues

Staff recommends approval of the final plat pending any staff and utility changes mentioned above. Once the final plat is approved, it must be recorded within 121 days after approval by the Commission or the approval is void.



CITY OF

TEXARKANA

TEXAS

2.2.a

P.O. Box 1967
Texarkana, TX 75504
Phone (903) 798-3900

Application for Subdivision Plat Approval

Type:

☐ Preliminary ☐ Final ☒ Replat ☐ Minor ☐ Amended ☐ Vacation

Purpose of Plat: To combine existing lot 2 & part of Lot 3 for development.

Plat Title: Replat of Lot No.2 & Lot No. 3 of the Cross Pointe Subdivision Amended

Current Legal Description: Cross Pointe subdivision Lot 2, Cross Pointe Subdivision Tract 3A, and Cross Pointe

Total Acreage: 16.346 **Number of Lots:** 2 **Zoning:** PD-19-2

Owner/Developer Information:

Name: QT South, LLC

Address: 8700 Freeport Parkway, Irving, TX 75063

Phone: (945) 455-6425 Fax: () Work E-mail: john.pimentel@quiktrip.com

Surveyor/Engineer Information:

Name: SCI

Address: 903 N. Bowser Road, suite 240, Richardson, TX 75081

Phone: (972) 424-7002 Fax: (972) 633-1702 Work E-mail: tony@surveyconsultantinc.com

Applicant/Agent Information:

Name: QT South, LLC - John Pimentel

Address: 8700 Freeport Parkway, Irving, TX 75063

Phone: (945) 455-6425 Fax: () Work E-mail: john.pimentel@quiktrip.com

Required Documents:

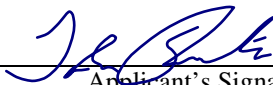
- ☐ 1 Electronic Copy of Plat
- ☐ 1 Fullsize Copy of Plat (24"x36")
- ☐ 1 Halfsize Copy of Plat (11"x17")
- ☐ Most Current Recorded Subdivision Plat for Replat or Amendment

Owners/Applicant Certification

A plat application will not be considered filed pursuant to Section 212.009 of the Texas Local Government Code until all required documents and fees have been submitted and all of the terms and conditions of the City of Texarkana Subdivision Ordinance, including all necessary studies, plans, and supporting information are accepted and approved. All necessary plat checklists and fees must also be turned in with this application.

I certify that the information on this form and the attached plats is true and accurate to the best of my/our knowledge and that all necessary documents have been submitted for approval, and all terms and conditions of the City of Texarkana, Texas Subdivision Ordinance have been met. I understand that the City may reject this application if any information that is submitted is incomplete.

John Pimentel
Applicant's Printed Name


Applicant's Signature

4/3/2022
Date

Application Fee: \$100

Received by: DBH

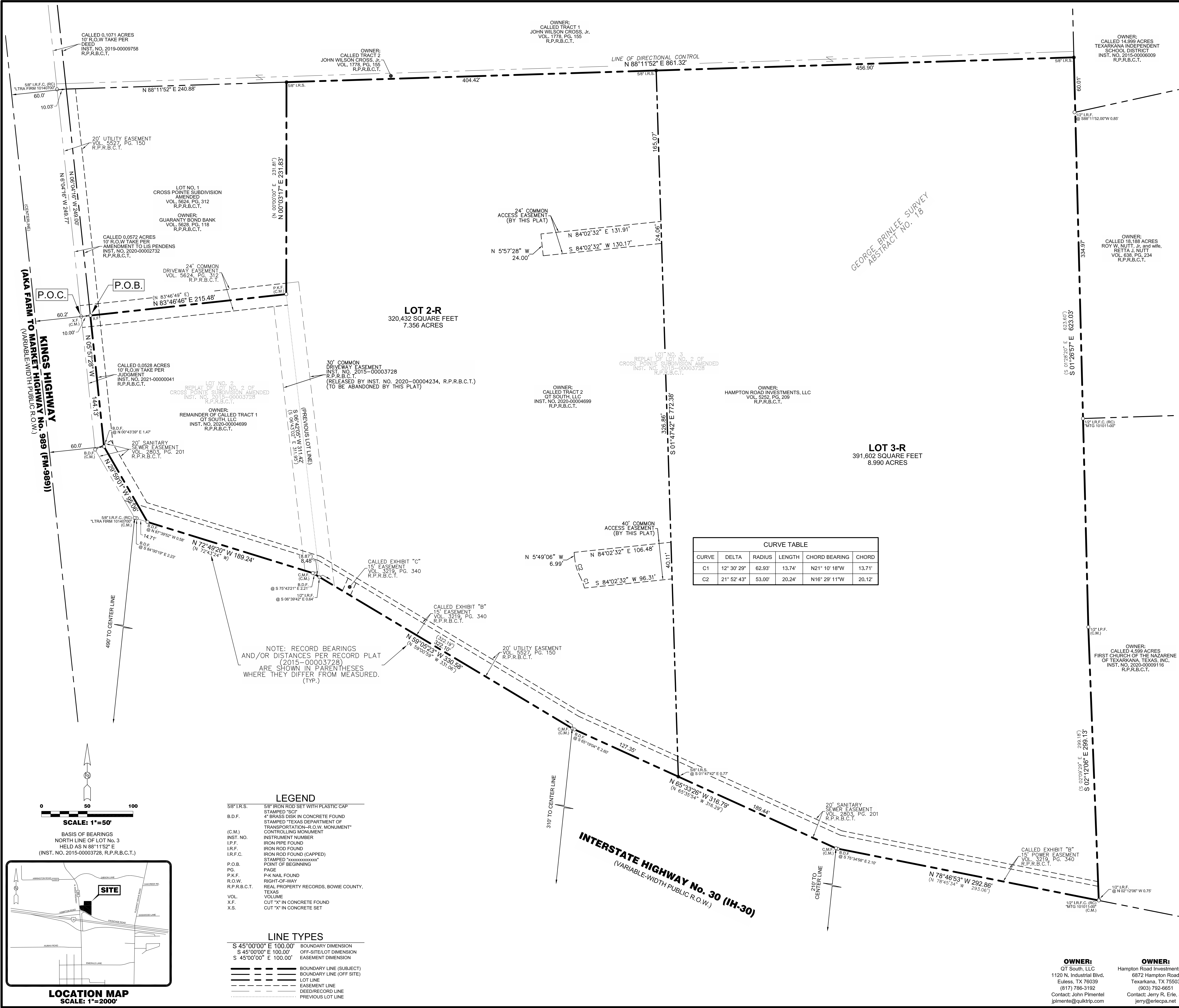


CITY OF TEXARKANA TEXAS

P.O. Box 1967
Texarkana, TX 75504
Phone (903) 798-3900

REPLAT CHECKLIST	
GENERAL INFORMATION / PROJECT DESCRIPTION	
Date, written and graphic scale (100 scale or smaller) and north arrow	☒
Location Map for proposed development	☒
Title and Name of Subdivision	☒
Legal Description and identification of tract being subdivided or resubdivided	☒
1. Legal description shall be referenced to a previous recorded subdivision	
SPECIFIC PLAT INFORMATION	
Names or designations of all adjoining subdivisions or properties	☒
Adjacent dedicated streets, alleys, and easements	☒
Outline of proposed tract (shall stand out compared to other boundary lines)	☒
Location and designation of all streets, alleys, and other areas with dimensions that are intended for public use	☒
All block, lot and street boundary lines	☒
1. Blocks and lots shall be numbered	
2. Building lines and easements are shown	
a. Commercial (15')	
b. Residential (25')	
c. In PUR, building line is not less than 15'	
Surveyor Note explaining purpose of Replat	☒
100 Year FEMA Flood Zones Zone "X"	N/A ☐
Finish Floor Elevations (lots adjacent to flood zones and drainage facilities)	N/A ☐
Shown all necessary dimensions	☒
Supplemental Survey Reference Markers	N/A ☐
Certificate of ownership	☒
Certificate of surveyor	☒
Certificate of approval by planning and zoning commission	☒
CERTIFICATION STATEMENT	
I have reviewed the checklist and submittals for completeness and accuracy. I understand this plat will not be reviewed until all information is included.	
Signature	Date <u>04 APR 2023</u>
Printed Name <u>ANTHONY BROOKING, SR</u>	

Attachment: PlatComments-RplLot2and3CrossPointe-May2023P&Z (3999 : Consider approval of replat of Lots 2 and 3, Cross Pointe Subdv.)



OWNER'S CERTIFICATE

STATE OF TEXAS \$
COUNTY OF BOWIE \$

WHEREAS, QT South, LLC, a Texas limited liability company, and Hampton Road Investments, LLC, a Texas limited liability company, are the owners of that, or those, parcel(s) of land situated in the City of Texarkana, Bowie County, Texas, out of the George Brinlee Survey, Abstract No. 18, being part of Lot No. 2 and all of Lot No. 3, Replat of Lot No. 2 Cross Pointe Subdivision Amended, an addition to the City of Texarkana, Bowie County, Texas, according to the replat thereof recorded by Instrument No. 2015-00003728, Real Property Records, Bowie County, Texas, and being part of that called Tract 1 and all of that called Tract 2 described by Quitclaim Deed to QT South, LLC, as recorded by Instrument No. 2020-00004699, Real Property Records, Bowie County, Texas, and being a portion of that called 17.722 acre parcel of land described by General Warranty Deed to Hampton Road Investments, LLC, as recorded in Volume 5252, Page 209, Real Property Records, Bowie County, Texas, and being more particularly described by metes and bounds as follows:

COMMENCING at a cut "X" in concrete found for the southwest corner of Lot No. 1, Cross Pointe Subdivision Amended, an addition to the City of Texarkana, Bowie County, Texas, according to the replat thereof recorded in Volume 5624, Page 312, Real Property Records, Bowie County, Texas, same being the northwest corner of said Lot No. 2, the southwest corner of that called 0.0572 acre parcel of land described by First Amended Notice of Lis Pendens recorded by Instrument No. 2020-00002732, Real Property Records, Bowie County, Texas and the northwest corner of that called 0.0528 acre parcel of land described by Judgment of Court in Absence of Objection recorded by Instrument No. 2021-00000041, Real Property Records, Bowie County, Texas, from which a 5/8 inch iron rod with red plastic cap stamped "LTRA FIRM 10140700" found for the northwest corner of said 0.0572 acre parcel bears North 06 degrees 04 minutes 16 seconds West, a distance of 249.77 feet, same being the southwest corner of that called 0.1071 acre parcel of land described by Deed to the State of Texas, as recorded by Instrument No. 2019-00009758, Real Property Records, Bowie County, Texas;

THENCE, along the common line of said Lot No. 1, said Lot No. 2 and the common line of said 0.0572 acre and said 0.0528 acre parcels, North 83 degrees 46 minutes 46 seconds East, a distance of 10.00 feet to a cut "X" in concrete found for the east right-of-way line of Kings Highway (AKA Farm to Market Highway No. 989; a variable width public right-of-way) and the POINT OF BEGINNING of the herein described;

THENCE, departing said east right-of-way line and continuing along the common line of said Lot No. 1 and said Lot No. 2, North 83 degrees 46 minutes 46 seconds East, a distance of 215.48 feet to a P-K nail found for a common corner of said Lot No. 1 and said Lot No. 2, same being in the west line of Lot No. 3 of said Replat of Lot No. 2 of Cross Pointe Subdivision Amended;

THENCE, along the common line of said Lot No. 1 and said Lot No. 3, North 00 degrees 03 minutes 17 seconds East, a distance of 861.32 feet to a 5/8 inch iron rod with red plastic cap stamped "SCI" set for the northeast corner of said Lot No. 3, same being located at the northeast corner of said Lot No. 1, and being in the south line of that called Tract 2 described by Quitclaim Deed to John Wilson Cross, Jr., as recorded by Volume 1778, Page 155, Real Property Records, Bowie County, Texas;

THENCE, along the common line of said Tract 2 and said Lot No. 3, North 88 degrees 11 minutes 52 seconds East, a distance of 18.168 acre parcel of land described by Warranty Deed to Roy W. Nutt, Jr., and Retta J. Nutt, his wife, as recorded in Volume 638, Page 234, Real Property Records, Bowie County, Texas, and the west line of that called 4.599 acre parcel of land described by Special Warranty Deed with Vendor's Lien to First Church of the Nazarene of Texarkana, Texas, Inc., as recorded by Instrument No. 2020-00009116, Real Property Records, Bowie County, Texas, South 01 degrees 26 minutes 57 seconds East, a distance of 623.03 feet to a 1/2 inch iron pipe found for an angle break in said east line;

THENCE, continuing along said east line and the west line of said 4.599 acre parcel, South 02 degrees 12 minutes 06 seconds East, a distance of 299.13 feet to a 1/2 inch iron rod with red plastic cap stamped "MTG 101011-00" found for the southwest corner of said 4.599 acre parcel, same lying in the north right-of-way line of Interstate Highway No. 30 (IH-30; a variable width public right-of-way), from which a 1/2 inch iron rod found bears North 02 degrees 12 minutes 06 seconds West, a distance of 0.75 feet;

THENCE, along the common lines of said Lot No. 3, said Lot No. 2 and said IH-30 as follows:

North 78 degrees 46 minutes 53 seconds West, a distance of 292.86 feet to a concrete monument found, from which a 4 inch brass disk in concrete stamped "TEXAS DEPARTMENT OF TRANSPORTATION-R.O.W. MONUMENT" found bears South 75 degrees 34 minutes 58 seconds East, a distance of 2.10 feet;

North 65 degrees 33 minutes 26 seconds West, a distance of 316.79 feet to a concrete monument found, from which a 4 inch brass disk in concrete stamped "TEXAS DEPARTMENT OF TRANSPORTATION-R.O.W. MONUMENT" found bears South 65 degrees 19 minutes 04 seconds East, a distance of 2.60 feet;

North 59 degrees 05 minutes 23 seconds West, at a distance of 322.10 feet pass a point for a common corner of said Lot No. 2 and said Lot No. 3, from which a 1/2 inch iron rod found bears South 06 degrees 39 minutes 42 seconds East, a distance of 0.64 feet, and continuing for a total distance of 330.58 feet to a concrete monument found, from which a 4 inch brass disk in concrete stamped "TEXAS DEPARTMENT OF TRANSPORTATION-R.O.W. MONUMENT" found bears South 75 degrees 43 minutes 21 seconds East, a distance of 2.21 feet;

North 72 degrees 49 minutes 20 seconds West, a distance of 189.24 feet to a point for the southeast corner of said 0.0528 acre parcel, same point marking the intersection of said north right-of-way line and the east right-of-way line of said Kings Highway, from which a 4 inch brass disk in concrete stamped "TEXAS DEPARTMENT OF TRANSPORTATION-R.O.W. MONUMENT" found bears North 87 degrees 38 minutes 52 seconds West, a distance of 0.58 feet, and from said point a 5/8 inch iron with red plastic cap stamped "LTA FIRM 101475" found for the southwest corner of said 0.0528 acre parcel bears North 72 degrees 49 minutes 20 seconds West, a distance of 14.71 feet, from which a 4 inch brass disk in concrete found bears South 84 degrees 00 minutes 19 seconds East, a distance of 2.23 feet;

THENCE along said east right-of-way line as follows:

North 29 degrees 59 minutes 01 seconds West, a distance of 95.06 feet to a point from which 4 inch brass disk in concrete stamped "TEXAS DEPARTMENT OF TRANSPORTATION-R.O.W. MONUMENT" found bears North 00 degrees 43 minutes 39 seconds East, a distance of 1.47 feet;

North 05 degrees 57 minutes 28 seconds West, a distance of 144.13 feet to the POINT OF BEGINNING, containing 712,034 square feet or 16.346 acres of land, more or less.

GENERAL NOTES:

1. The purpose of this replat is to combine the existing Lot No. 2 and a portion of the existing Lot No. 3 for future development.

REPLAT

REPLAT OF LOT No. 2 & LOT No. 3 OF
CROSS POINTE SUBDIVISION AMENDED
(INSTRUMENT No. 2015-00003728, R.P.R.B.C.T.)

BEING 16.346 ACRES OUT OF THE
GEORGE BRINLEE SURVEY, ABSTRACT NO. 18
CITY OF TEXARKANA, BOWIE COUNTY, TEXAS

PROJECT INFORMATION
Date of Map/Plat: 3/20/2023
Job Number: 19149185
Drawn By: A.L.B.
Date of Original Survey: 2/23/2019
File: 19149185 Replat.Dwg
SHEET 1 OF 2



903 N. Bowser Road, Suite 240
Richardson, Texas 75081
(972) 424-7002 Voice
(972) 633-1702 Fax
WWW.SurveyConsultantsInc.Com
TBPLS Firm No. 10139600

OWNER:
QT South, LLC
1120 N. Industrial Blvd.
Euless, TX 76039
(817) 786-3192
Contact: John Pimentel
jpimentel@quitrp.com

OWNER:
Hampton Road Investments, LLC
6872 Hampton Road
Texarkana, TX 75503
(903) 792-6651
Contact: Jerry R. Erie, Jr.
jerry@eriercpa.net

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, QT South, LLC and Hampton Road Investments, LLC, do hereby adopt this record replat designating the herein above described property as **REPLAT OF LOT No. 2 & LOT No. 3, CROSS POINTE SUBDIVISION AMENDED**, an addition to the City of Texarkana, Bowie County, Texas, and by these presents, the undersigned hereby dedicates to the public, in fee simple, the streets and/or easements shown on this replat for the purpose(s) stated hereon.

EXECUTED this the ____ day of _____, 2023.

QT South, LLC, a Texas limited liability company

BY: _____
Joseph S. Faust Regional Director of Real Estate

STATE OF TEXAS §
COUNTY OF TARRANT §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared **JOSEPH S. FAUST**, in his capacity as Regional Director of Real Estate of QT South, LLC, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 2023.

Notary Public, State of Texas

EXECUTED this the ____ day of _____, 2023.

Hampton Road Investments, LLC, a Texas limited liability company

BY: _____
Jerry R. Erie, Jr. Manager

STATE OF TEXAS §
COUNTY OF BOWIE §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared **JERRY R. ERIE, Jr.**, in his capacity as Manager of Hampton Road Investments, LLC, a Texas limited liability company, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 2023.

Notary Public, State of Texas

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT, I **DOUGLAS S. LOOMIS**, do hereby certify that I am a Registered Professional Land Surveyor in the State of Texas, and that the plat of the heeron described property correctly reflects the results of a survey by me and that the corner monuments are in place and/or will be placed at the points on the boundary of the subdivision as shown on the plat of same, and that the survey substantially complies with the current Texas Society of Professional Surveyors' standards and specifications. There are no know discrepancies unless shown hereon and that the subdivision is to be known as **REPLAT OF LOT No. 2 AND LOT No. 3 of CROSS POINTE SUBDIVISION AMENDED**.

RELEASED 3/20/2023 FOR REVIEW PURPOSES ONLY. THIS
DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.

Douglas S. Loomis
Registered Professional Land Surveyor, No. 5199

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared **DOUGLAS S. LOOMIS**, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2023.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL BY PLANNING COMMISSION

We, the undersigned, do hereby certify that the replat of REPLAT OF LOTS 2 & 3 OF CROSS POINTE SUBDIVISION AMENDED, being a part of the George Brinlee Survey, Abstract No. 18, Bowie County, Texas, together with the OWNER'S CERTIFICATE and the SURVEYOR'S CERTIFICATE on the same, was presented to the Planning Commission of the City of Texarkana, Bowie County, Texas, for its approval the said replat, OWNER'S CERTIFICATE and SURVEYOR'S CERTIFICATE being found to conform to the platting requirements in all aspects are in all things approved on this the ____ day of _____, 2023.

This certificate of approval by the Planning Commission shall be null and void should this replat not be properly filed and recorded within 121 days of approval.

Planning Commission Chair

Planning Commission Secretary

REPLAT

**REPLAT OF LOT No. 2 & LOT No. 3 OF
CROSS POINTE SUBDIVISION AMENDED**
(INSTRUMENT No. 2015-00003728, R.P.R.B.C.T.)

BEING 16.346 ACRES OUT OF THE
GEORGE BRINLEE SURVEY, ABSTRACT NO. 18
CITY OF TEXARKANA, BOWIE COUNTY, TEXAS

OWNER:
QT South, LLC
1120 N. Industrial Blvd.
Eulless, TX 76039
(817) 786-3192
Contact: John Pimentel
jpimentel@quktrip.com

OWNER:
Hampton Road Investments, LLC
6872 Hampton Road
Texarkana, TX 75503
(903) 792-6651
Contact: Jerry R. Erie, Jr.
jerry@eriercpa.net

PROJECT INFORMATION
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SHEET 2 OF 2



903 N. Bowser Road, Suite 240
Richardson, Texas 75081
(972) 424-7002 Voice
(972) 633-1702 Fax
WWW.SurveyConsultantsInc.Com
TBPLS Firm No. 10139600

TEX-Henslee, Dustin

From: Zac Pianalto <zspianalto@aep.com>
Sent: Thursday, April 6, 2023 4:11 PM
To: TEX-Henslee, Dustin; Dusty Wiley
Subject: RE: Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

CAUTION: This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dusty,

SWEPCO has no issues with the replat of the QT Property.

Have a great weekend.



ZAC PIANALTO | ENGINEER
ZSPIANALTO@AEP.COM | C:903.826.5027
 3708 W 7TH ST, TEXARKANA, TX 75501-6324

From: TEX-Henslee, Dustin <dustin.henslee@txkusa.org>
Sent: Thursday, April 6, 2023 3:15 PM
To: Dusty Wiley <dwwiley@aep.com>; Zac Pianalto <zspianalto@aep.com>; michael.a.latham@windstream.com; chris.jackson@windstream.com; TWU-Smith, Gary <gsmith@txkusa.org>; TEX-Daniel, Mashell <mhodges@txkusa.org>; todd@bcec.com; TWU-Rogers, Terri <terri.rogers@txkusa.org>; joe.langle@sparklight.biz; TTFD-Black, Chris <cblack@txkusa.org>; mgross <mgross@bowieappraisal.org>; Tommy Bruce <Tommy.Bruce@txdot.gov>; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks <bbrooks@summitutilities.com>; gstrickland@summitutilities.com; william.c.porterfield@windstream.com; Beau Redfearn <bredfearn@swrea.com>; TWU-McBride, Len <len.mcbride@txkusa.org>
Cc: TEX-Puckett, Laura <lpuckett@txkusa.org>
Subject: [EXTERNAL] Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

All,

We have received a request for approval of the Replat Lots 2 and 3 Cross Pointe Subdivision.

Attached is the application, checklist, and plat for the proposed plat. This plat will be on the May 1, 2023 P&Z agenda so please provide any comments back to me via email by **12 PM, April 26, 2023**. If you have any questions, please let me know.

Thanks,

Dusty Henslee, P.E., CFM, CPM
Assistant City Manager/Director of Public Works
City of Texarkana, Texas
 Office: (903)-798-3953
 Cell: (903)-908-1808

Attachment: PlatComments-RpLtlots2and3CrossPointe-May2023P&Z (3999 : Consider approval of replat of Lots 2 and 3, Cross Pointe Subdv.)

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

Attachment: PlatComments-RpltLots2and3CrossPointe-May2023P&Z (3999 : Consider approval of replat of Lots 2 and 3, Cross Pointe Subdv.)

TEX-Henslee, Dustin

From: Tod Corbin <todc@bcec.com>
Sent: Monday, April 10, 2023 3:08 PM
To: TEX-Henslee, Dustin
Cc: TEX-Puckett, Laura
Subject: RE: Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

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Mr. Henslee,
 Bowie-Cass Electric has no comment on the proposed replat.
 If you have any questions, please let me know.
 Tod Corbin
 Bowie-Cass Electric Cooperative, Inc.

From: TEX-Henslee, Dustin [mailto:dustin.henslee@txkusa.org]
Sent: Thursday, April 06, 2023 3:15 PM
To: dwwiley@aep.com; Zachary S Pianalto; michael.a.latham@windstream.com; chris.jackson@windstream.com; TWU-Smith, Gary; TEX-Daniel, Mashell; Tod Corbin; TWU-Rogers, Terri; joe.langley@sparklight.biz; TTFD-Black, Chris; mgross; Tommy Bruce; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks; gstrickland@summitutilities.com; william.c.porterfield@windstream.com; Beau Redfearn; TWU-McBride, Len
Cc: TEX-Puckett, Laura
Subject: Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

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Thanks,

Dusty Henslee, P.E., CFM, CPM
Assistant City Manager/Director of Public Works
City of Texarkana, Texas
 Office: (903)-798-3953
 Cell: (903)-908-1808

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

Attachment: PlatComments-RplLts2and3CrossPointe-May2023P&Z (3999 : Consider approval of replat of Lots 2 and 3, Cross Pointe Subdv.)

TEX-Henslee, Dustin

From: Langley, Joe <Joe.Langley@cableone.biz>
Sent: Friday, April 7, 2023 8:12 AM
To: TEX-Henslee, Dustin
Subject: RE: Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

CAUTION: This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

No issue that I can see.

From: TEX-Henslee, Dustin <dustin.henslee@txkusa.org>
Sent: Thursday, April 6, 2023 3:15 PM
To: dwwiley@aep.com; Zachary S Pianalto <zspianalto@aep.com>; michael.a.latham@windstream.com; chris.jackson@windstream.com; TWU-Smith, Gary <gsmith@txkusa.org>; TEX-Daniel, Mashell <mhodges@txkusa.org>; todc@bcec.com; TWU-Rogers, Terri <terri.rogers@txkusa.org>; Langley, Joe <Joe.Langley@cableone.biz>; TTFD-Black, Chris <cblack@txkusa.org>; mgross <mgross@bowieappraisal.org>; Tommy Bruce <Tommy.Bruce@txdot.gov>; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks <bbrooks@summitutilities.com>; gstrickland@summitutilities.com; william.c.porterfield@windstream.com; Beau Redfearn <bredfearn@swrea.com>; TWU-McBride, Len <len.mcbride@txkusa.org>
Cc: TEX-Puckett, Laura <lpuckett@txkusa.org>
Subject: Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

CAUTION: External source. **THINK BEFORE YOU CLICK!**

All,

We have received a request for approval of the Replat Lots 2 and 3 Cross Pointe Subdivision.

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Thanks,

Dusty Henslee, P.E., CFM, CPM
Assistant City Manager/Director of Public Works
City of Texarkana, Texas
 Office: (903)-798-3953
 Cell: (903)-908-1808

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

Attachment: PlatComments-RplltLots2and3CrossPointe-May2023P&Z (3999 : Consider approval of replat of Lots 2 and 3, Cross Pointe Subdv.)

TEX-Henslee, Dustin

From: Brandon Brooks <bbrooks@summitutilities.com>
Sent: Monday, April 10, 2023 1:49 PM
To: TEX-Henslee, Dustin
Cc: Ronnie Watkins
Subject: RE: [EXTERNAL EMAIL] Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

CAUTION: This email originated from outside our email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

No issues with this replat. Thanks



Brandon Brooks

Operations Supervisor | Texarkana, Arkansas

903.824.1304 c.

bbrooks@summitutilities.com

From: TEX-Henslee, Dustin <dustin.henslee@txkusa.org>
Sent: Thursday, April 6, 2023 3:15 PM
To: dw Wiley@aep.com; Zachary S Pianalto <zspianalto@aep.com>; michael.a.latham@windstream.com; chris.jackson@windstream.com; TWU-Smith, Gary <gsmith@txkusa.org>; TEX-Daniel, Mashell <mhodges@txkusa.org>; todc@bcec.com; TWU-Rogers, Terri <terri.rogers@txkusa.org>; joe.langle@sparklight.biz; TTFD-Black, Chris <cblack@txkusa.org>; mgross <mgross@bowieappraisal.org>; Tommy Bruce <Tommy.Bruce@txdot.gov>; philip.mcdowell@rittercommunications.com; tray.mcneil@rittercommunications.com; Brandon Brooks <bbrooks@summitutilities.com>; Greg Strickland <gstrickland@summitutilities.com>; william.c.porterfield@windstream.com; Beau Redfearn <bredfearn@swrea.com>; TWU-McBride, Len <len.mcbride@txkusa.org>
Cc: TEX-Puckett, Laura <lpuckett@txkusa.org>
Subject: [EXTERNAL EMAIL] Plat Review - Replat Lots 2 and 3 Cross Pointe Subdivision

All,

We have received a request for approval of the Replat Lots 2 and 3 Cross Pointe Subdivision.

Attached is the application, checklist, and plat for the proposed plat. This plat will be on the May 1, 2023 P&Z agenda so please provide any comments back to me via email by **12 PM, April 26, 2023**. If you have any questions, please let me know.

Thanks,

Dusty Henslee, P.E., CFM, CPM
Assistant City Manager/Director of Public Works
City of Texarkana, Texas
 Office: (903)-798-3953
 Cell: (903)-908-1808

Attachment: PlatComments-RplLot2and3CrossPointe-May2023P&Z (3999 : Consider approval of replat of Lots 2 and 3, Cross Pointe Subdv.)

Email communications through this office may be subject to Texas Public Records laws and may be shared with others.

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Attachment: PlatComments-RpltLots2and3CrossPointe-May2023P&Z (3999 : Consider approval of replat of Lots 2 and 3, Cross Pointe Subdv.)



Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone
711 TTY
(903) 791-0724 Fax

MEMORANDUM

To: Dusty Henslee, P.E., CFM, CSI, Assistant City Manager, City of Texarkana, Texas

From: Gary L. Smith, P.E., Executive Director, TWU

Date: April 11, 2023

Re: **Replat of Lots No. 2 & 3 Cross Pointe Subdivision Amended**

The Utility staff has reviewed the above referenced replat and has the following comments:

1. There is an existing twelve-inch (12") water main on the north side of St. Michael Drive.
2. There is an existing eight-inch (8") sanitary sewer main beginning approximately 520 linear feet west of the southeast corner of the above referenced property and running east parallel and adjacent to the south boundary line of said property to the southeast corner of this property and turning north, running parallel and adjacent to the east boundary line of this property approximately 530 linear feet to a lift station.
3. The Utility reserves the right to request additional utility easements upon review of the plans.
4. The size and location of the existing water and sanitary sewer mains have not been field verified. The developer's representative shall field verify the size and location of the existing utilities before designing or constructing extensions of the system

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

cc: Kenny Icenhower, P.E., Assistant Executive Director, TWU
Bill Moss, GIS Technician, TWU
Teresa Akard, O & M Coordinator, TWU
Pam White, Administrative Coordinator, TWU

City of Texarkana, Texas

Version:

Update Date: 4/27/2023 8:50 AM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator

Subject: Amendment to PD-20-4 (General Retail) for site plan approval on Lot 1, The Grove at Amesdale, located at 5714 Richmond Road. Johnny Gibbs, owner and Kayla Wood, MTG Engineers and Surveyors, agent.

Meeting Date: 5/1/2023

Attachments

- a. Hearing Notice and Application (PDF)
- b. Site Plan (PDF)
- c. Maps (PDF)
- d. Elevations (PDF)
- e. TWU comments on Diamond Bank (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Johnny Gibbs, owner, and Kayla Wood, MTG Engineers and Surveyors, agent for site plan approval on Lot 1, The Grove at Amesdale, located at 5714 Richmond Road. The current zoning is Planned Development-General Retail. The property is currently vacant property. The proposed use is a bank.

The Future Land Use Map designates this property as "Neighborhood Retail".

The adjacent zoning is Planned Development General Retail to the north, east, and south, and Single Family-1 to the west. The adjacent land use is vacant property to the north and west, restaurant to the south and mini warehouses to the east.

The site plan consists of the following:

1. The construction of 4,105 sq ft building.

City of Texarkana, Texas

2. The access driveway will be off Richmond Road.
3. There will be 28 parking spaces and includes 2 handicapped spaces. All parking spaces shall be a minimum of 180 sq. ft. in size.
4. A 6'X8' monument style sign. No Electronic messaging will be allowed.
5. Development must meet Drainage Ordinance and Stormwater Manual Design Standards.
6. Screened dumpster site.
7. Please see attached correspondence from Texarkana Water Utilities.

Staff recommends for approval of the site plan with stipulations.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends approval of this request with stipulations.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 1, 2023

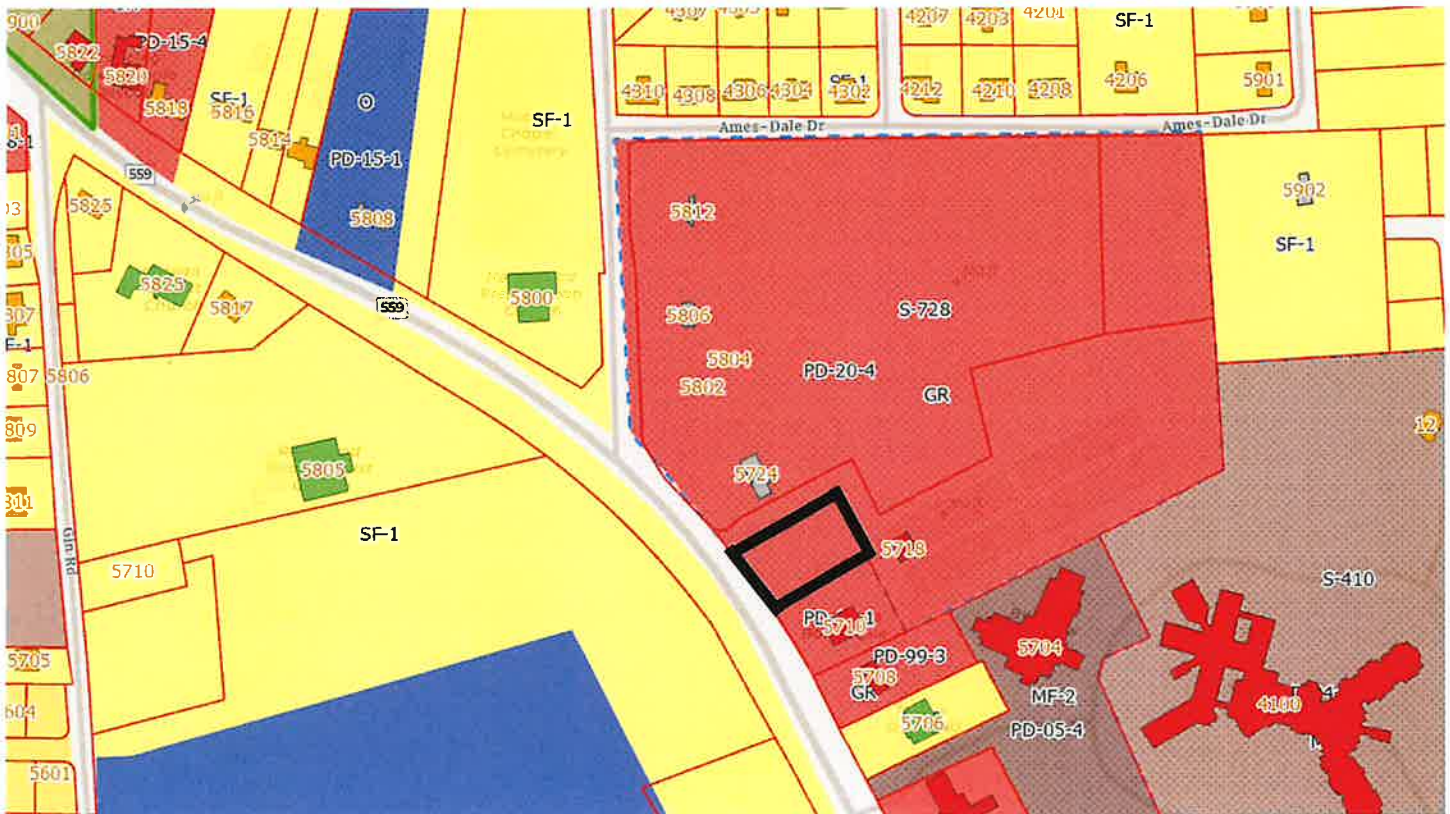
NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, May 1, 2023 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, June 20, 2023 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: Johnny Gibbs, owner and Kayla Wood MTG Engineers and Surveyors, agent

OWNER'S ADDRESS: 921 East Broadway, Glenwood, Arkansas 71943

LOCATION OF REZONING: 5714 Richmond Road, Texarkana, Texas 75503

PROPOSED CHANGE: Amendment to PD-20-4 (GR) for site plan approval for the construction of bank

LEGAL DESCRIPTION: Lot 1, The Grove at Amesdale

CASE NUMBER: Amendment-PD-20-4 DATE MAILED: April 20, 2023

Attachment: Hearing Notice and Application (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)



SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

220 Texas Blvd
Texarkana TX 75501
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 23-001184

Case Amendment to PD-20-4 (GR)
Date 4-12-23

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property.

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: 01 Block: _____ Addition: The Grove at Amesdale
(Or see attached metes and bounds legal description)

Project location/address: 5714 Richmond
Near the intersection of Richmond Rd & Airline Dr (Adjacent to Big Jukes BBQ)

Present zoning: PD Proposed zoning (if applicable) _____

Proposed use: Bank

Total square footage of proposed building: 4,105 SF Number of parking spaces 28 Spaces

Number of required parking spaces per Ordinance 7 Spaces Handicapped spaces 2 Spaces

Material of building façade Brick

SIGNAGE: Type (i.e. monument, pole) Monument

Size 10' x 4'

Material to be used for structure (if monument style) Brick

Kayla R. Wood
Attorney or Agent Signature

Printed Name: Kayla Wood

5930 Summerhill Road

Address

Texarkana, TX 75503

City, State, Zip

903-838-8533

Home Phone & Cell Phone

kwood@mtgengineers.com

Email Address

[Signature]
Property Owner Signature

Printed Name: JOHNNY GIBBS

921 EAST BROADWAY

Address

GLENWOOD AR 71943

City, State, Zip

(501) 545-0795 (870) 356-2121

Home Phone & Cell Phone

jgibbs@diamond.bank

Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)

Amendment to PD-20-4 (GR)



LEGEND

---	PROPERTY LINE
---	CURB AND GUTTER
---	BUILDING EDGE
---	EDGE OF PAVEMENT
---	EASEMENT
---	BUILDING LINE OFFSET
---	TOE OF DITCH/SLOPE
---	TOP OF BANK
---	OVERHEAD POWER LINE
---	WATER MAIN
---	SANITARY SEWER MAIN
---	TELEPHONE LINE
---	PROPOSED CONTOUR INT.
---	EXISTING CONTOUR INT.
---	SILT FENCE
---	STORM DRAIN
---	FIRE LANE
---	SPOT ELEVATION
---	POWER POLE
---	WATER METER
---	WATER VALVE
---	CLEAN OUT
---	SANITARY SEWER MANHOLE
---	STORM DRAIN MANHOLE
---	SIGN (TYPICAL)
---	HANDICAP PARKING SYMBOL (PAINTED)
---	FIRE HYDRANT
---	LIGHT POLE
---	GAS REGULATOR
---	IRRIGATION CONTROL VALVE
---	SPRINKLER HEAD
---	ROOF DRAIN
---	TELEPHONE JUNCTION BOX
---	ELECTRIC JUNCTION BOX
---	GUY WIRE
---	TREE

SITE DATA:
ADJACENT ZONING: GR-PD
PROPOSED BUILDING = 4105 SF
REQUIRED PARKS = 1
TOTAL PARKING SPACES = 19
REGULAR PARKING SPACES = 17
HANDICAP PARKING SPACES = 2

GENERAL SITE NOTES

- CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING AND PLANNED UTILITIES BEFORE CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
- CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY A MINIMUM OF 2 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION WITHIN RIGHT-OF-WAY. ALL WORK WITHIN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH APPROVED PERMIT.
- BUILDING DIMENSIONS SHOWN ON THESE PLANS ARE OUTSIDE FOUNDATION/SLAB LINES. CONTRACTOR SHALL COORDINATE AND VERIFY DIMENSIONS WITH ARCHITECTURAL PLANS. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE SITE PLANS AND ARCHITECTURAL PLANS, THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED.
- DIMENSIONS SHOWN ARE FROM BACK OF CURB AS APPLICABLE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY OBSTRUCTIONS SUCH AS EXISTING STRUCTURES, FENCES, DEBRIS, OR TREES ON SITE, AND SHALL COORDINATE ALL REMOVAL WITH THE GENERAL CONTRACTOR. NO TREES OR OTHER ITEMS SHALL BE REMOVED WITHOUT THE APPROVAL OF THE ARCHITECT, ENGINEER, AND OWNER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES.

PRELIMINARY - FOR REVIEW ONLY. NOT INTENDED FOR BIDDING. CONSTRUCTION OR PERMIT PURPOSES 4/11/2023 JOSEPH R. CHALIFOUX P.E. #141633

MTG ENGINEERS & SURVEYORS

8830 SUMMERHILL ROAD TEXARKANA, TEXAS P 803.838.8533 www.mtgenr.com TBP# FIRM NO. F-354 AR COA NO. 125 © MTG 2023

Scale: AS SHOWN

Drawn By: S.G.F.

Checked By: J.R.C.

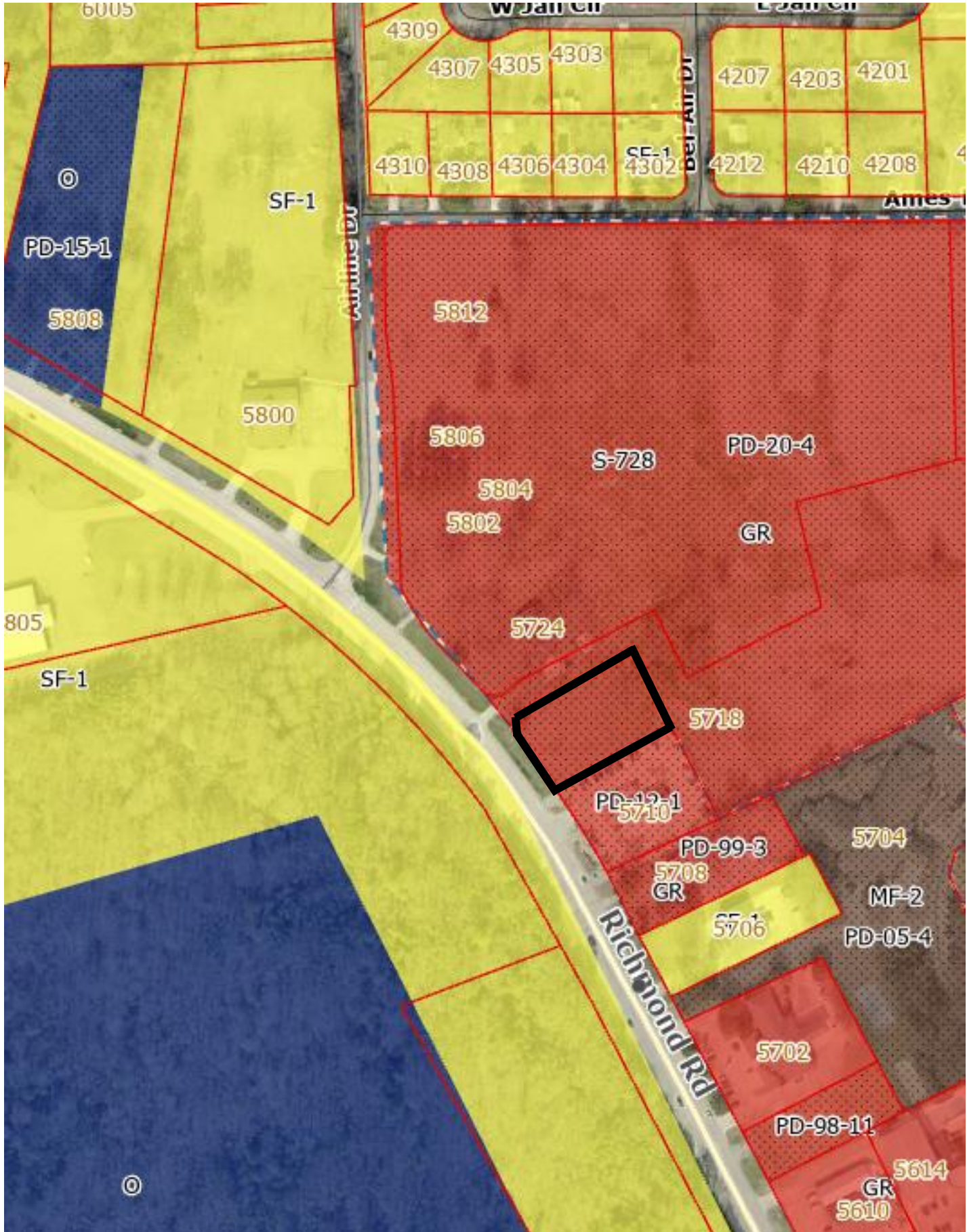
File No.:

SITE PLAN

DIAMOND BANK
TEXARKANA, TEXAS
DIAMOND BANK

Drawing Date: 4/11/2023
Project Number: 236010
Sheet Number: C2

5714 Richmond Road



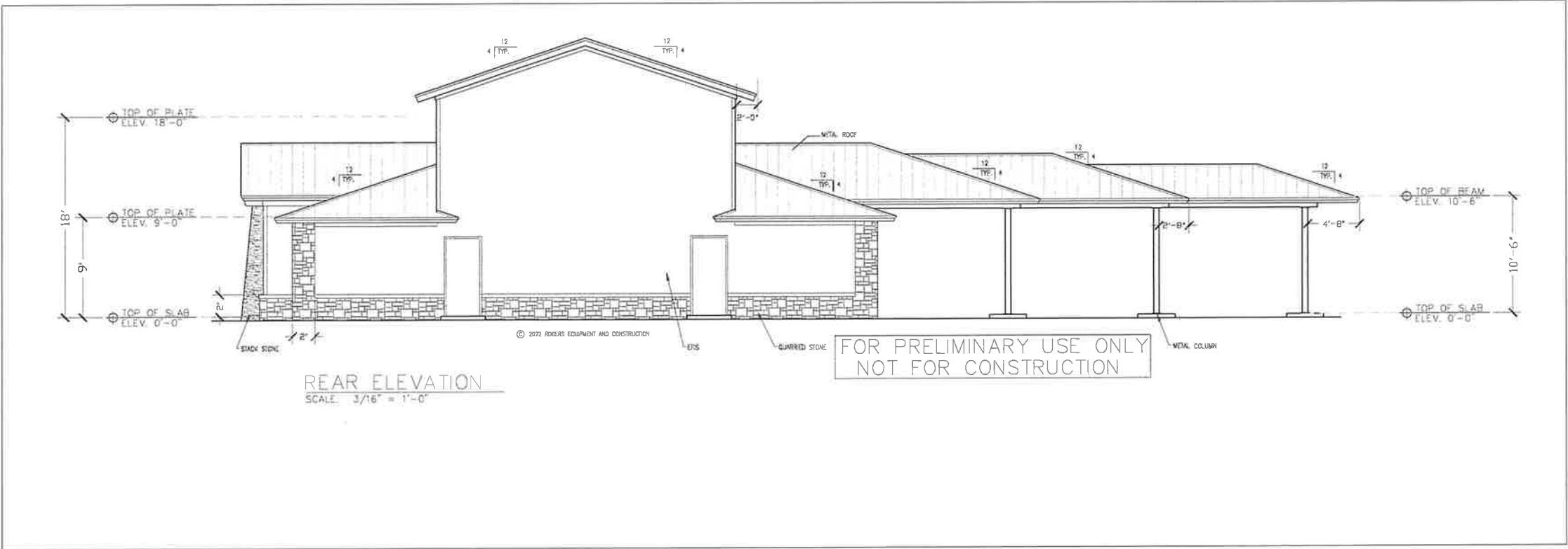
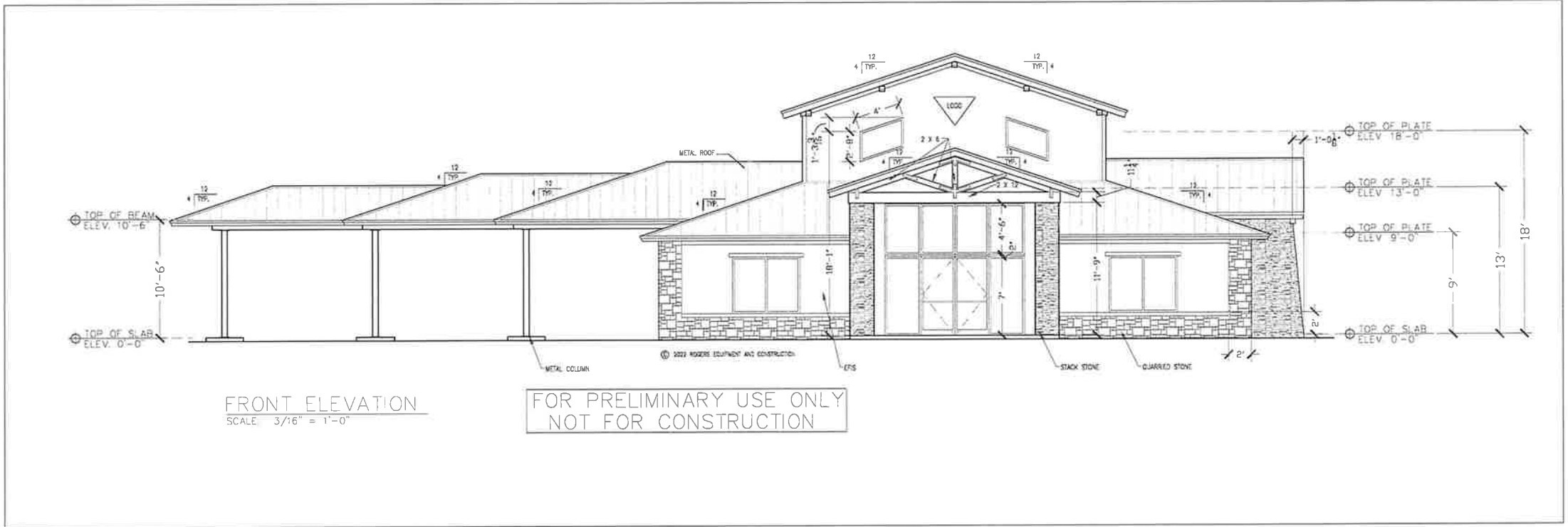
Attachment: Maps (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)

5714 Richmond Road



Attachment: Maps (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)

Amendment to PD-20-4 (GR)



General Notes

No. Revision/Issue Date

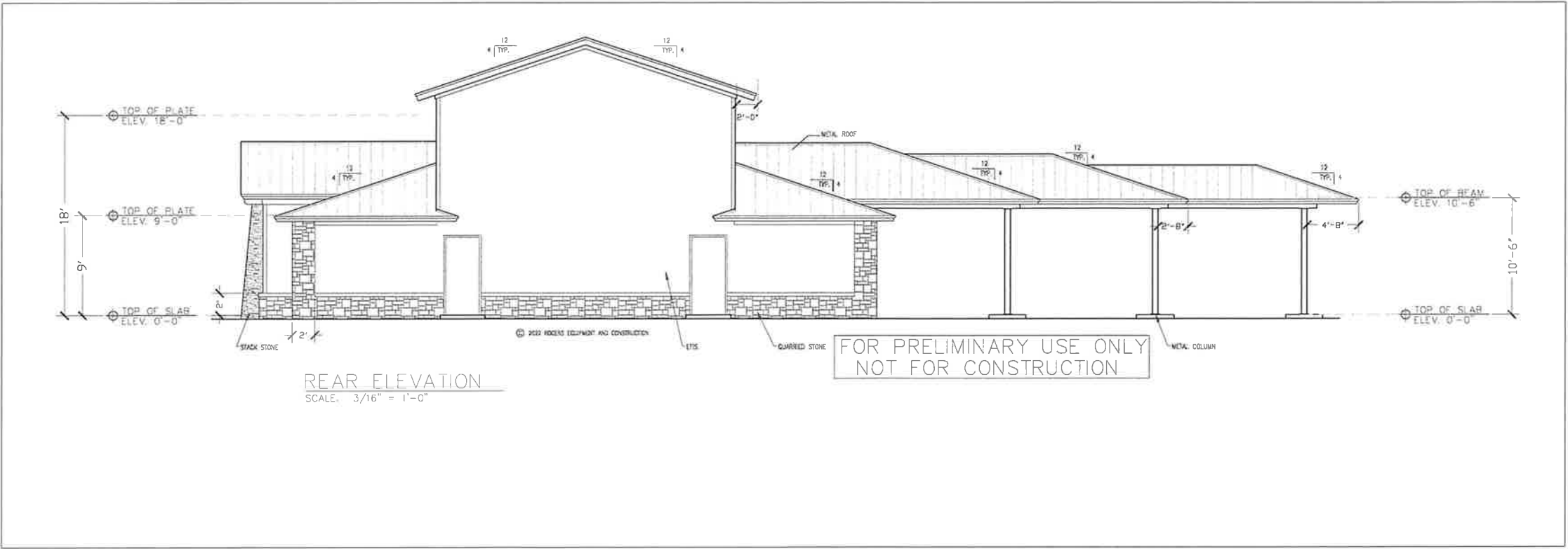
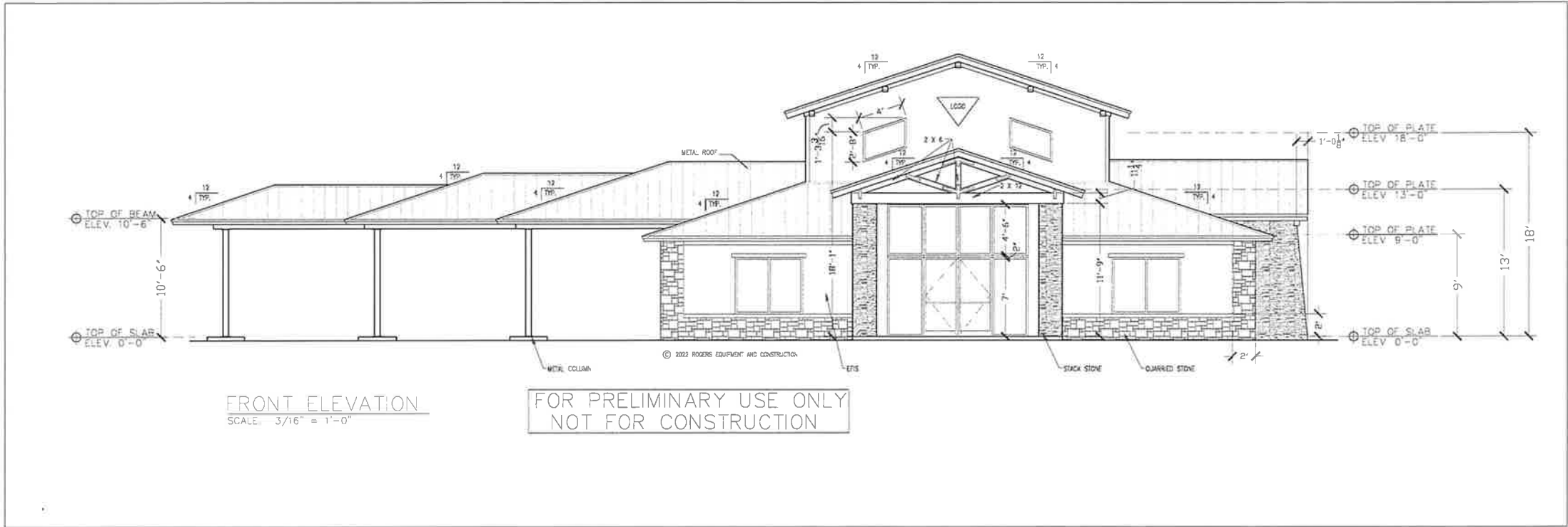
Firm Name and Address
REC ROGERS
Equipment & Construction
RESIDENTIAL AND COMMERCIAL CONTRACTOR
Mike Rogers Phone: 903-278-4244

Project Name and Address
DIAMOND BANK
TEXARKANA, TEXAS

Project
ELEVATIONS
Date
10/5/2022
Scale
3/16" = 1'

Sheet
A3

Amendment to PD-20-4 (GR)



General Notes

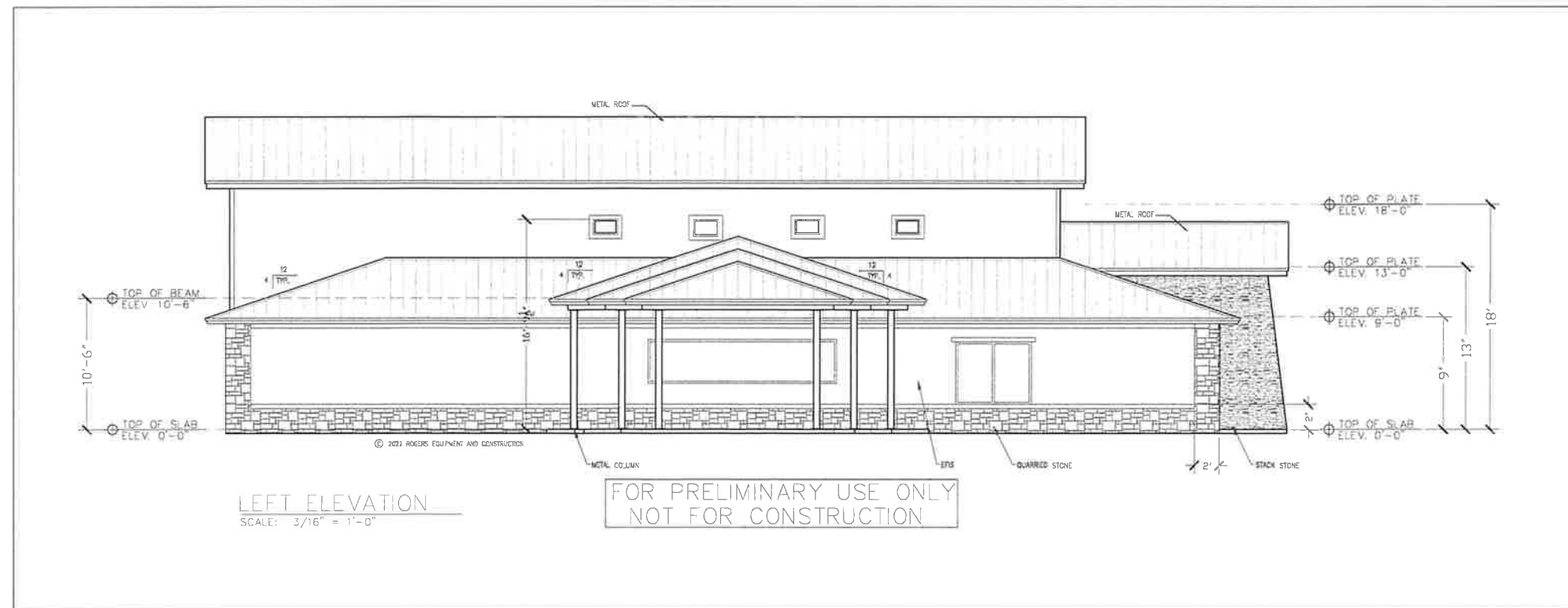
No.	Revision/Issue	Date

Firm Name and Address
REC ROGERS
Equipment & Construction
RESIDENTIAL AND COMMERCIAL CONTRACTOR
Mike Rogers Phone: 503-275-1214

Project Name and Address
DIAMOND BANK
TEXARKANA, TEXAS

Project ELEVATIONS	Sheet A3
Date 10/5/2022	
Scale 3/16" = 1'	

Amendment to PD-20-4 (GR)



General Notes

No.	Revision/Issue	Date

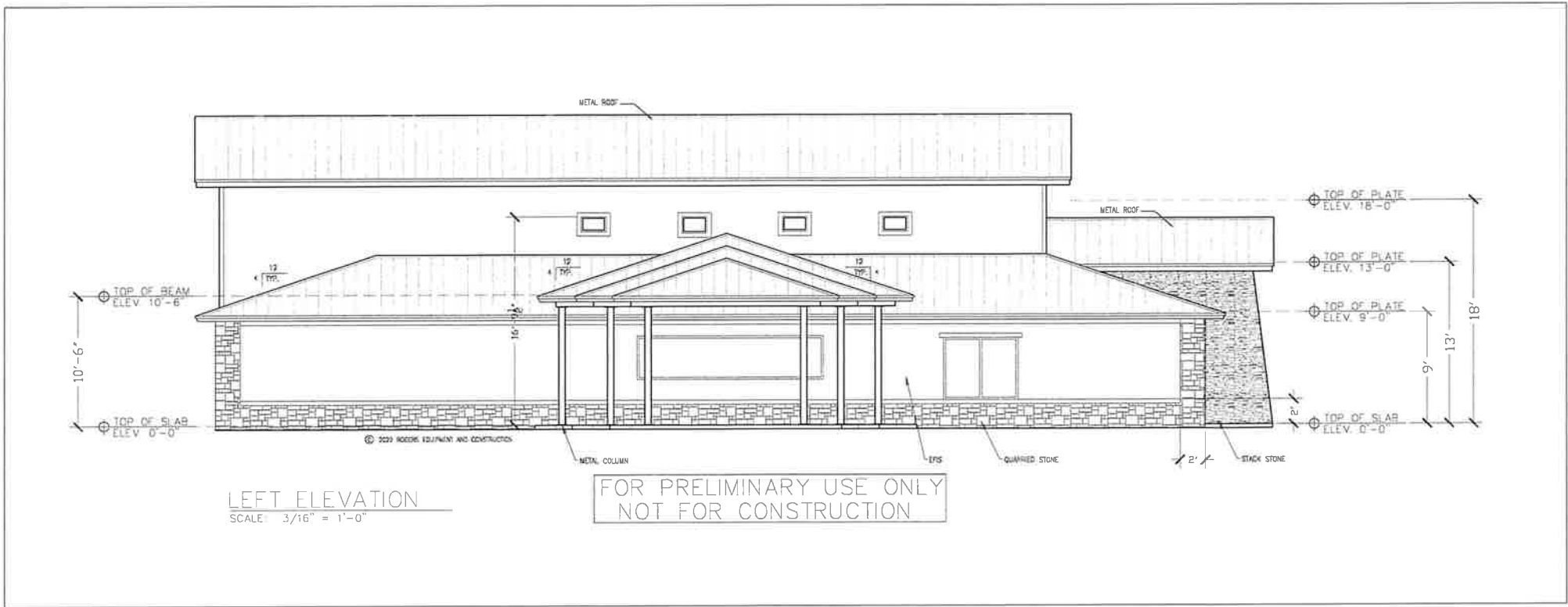
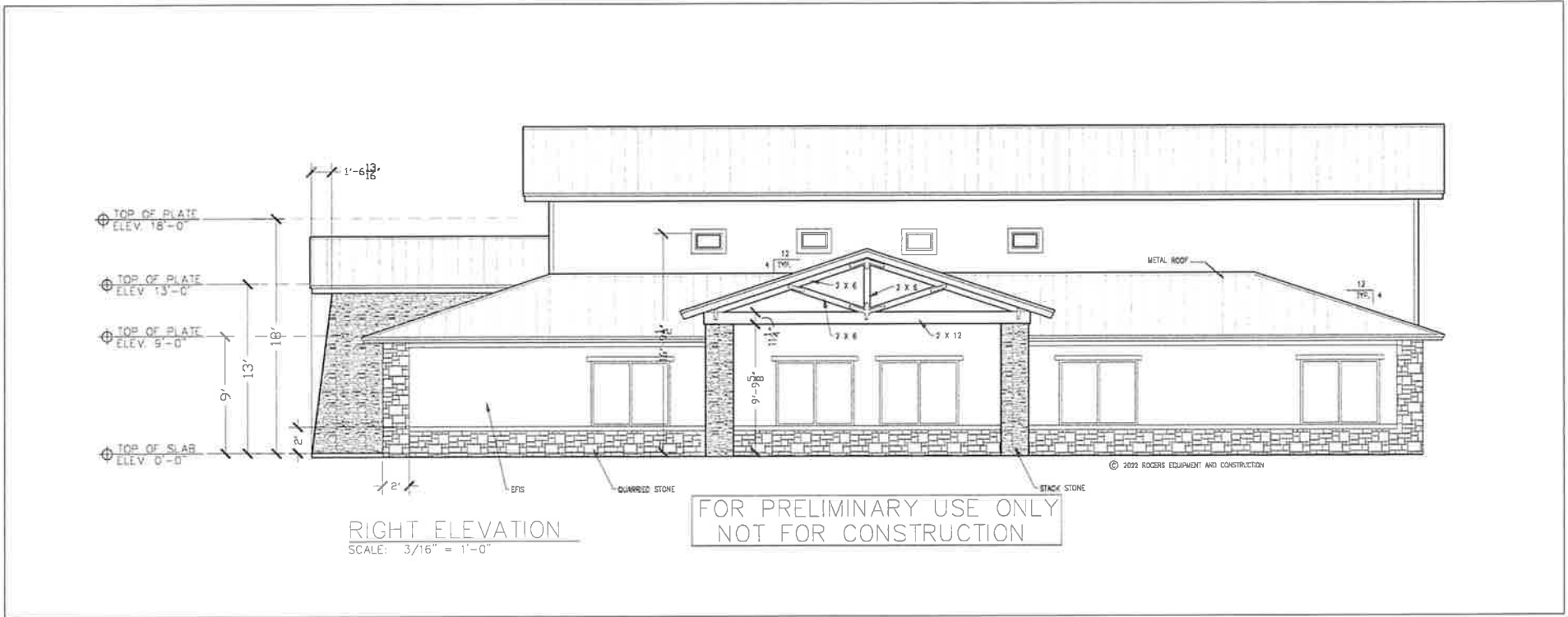
Firm Name and Address
**ROGERS**
Equipment & Construction
RESIDENTIAL AND COMMERCIAL CONTRACTOR
Mike Rogers Phone: 503-278-1344

Project Name and Address
DIAMOND BANK
TEXARKANA, TEXAS

Project ELEVATIONS	Sheet A4
Date 10/5/2022	
Scale 3/16" = 1'	

Attachment: Elevations (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)

Amendment to PD-20-4 (GR)



General Notes

No.	Revision/Issue	Date

REC
ROGERS
Equipment &
Construction

RESIDENTIAL AND COMMERCIAL CONTRACTOR
Mike Rogers Phone: 903-278-4244

Project Name and Address
DIAMOND BANK
TEXARKANA, TEXAS

Project
ELEVATIONS
Date
10/5/2022
Scale
3/16" = 1'

Sheet
A4

Attachment: Elevations (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)



Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone
711 TTY
(903) 791-0724 Fax

April 13, 2023

Mashell Daniel, P.E.
Director of Inspections & Code Enforcement
City of Texarkana, Texas
P. O. Box 1967
Texarkana, Texas 75504

Re: Diamond Bank Richmond Rd Branch – 5714 Richmond Rd - Plan Review - Texarkana, TX

Dear Mrs. Daniel:

The Utility staff has performed a review of the plans for the above referenced project and has the following comments:

1. The TWU Environmental Section has reviewed the plans. **No comments.** All details shall meet the Texarkana Water Utilities Standards.
2. **NO COMMENTS from TWU Engineering Section.**

GENERAL REQUIREMENTS

3. The sewer taps, water taps, and meter box installations must be inspected by the Utility and the service lines and material must be inspected and approved by the City Plumbing Inspector. The water meters must be located adjacent to the water main, between the water main and the building, in a grassed area, to keep from having the service line run back over the main. The backflow prevention devices must be located adjacent to the meters. The water tap must run perpendicular from the existing water main to the water meter and be located so the tap and meter are not located under any pavement.
4. The backflow preventers (RPPA's) for the water meters must be located within five (5') feet of the meters.

Attachment: TWU comments on Diamond Bank (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)

5. When placing any new street, driveways, or parking lots over our existing sewer main, there must be a minimum of three feet of cover maintained. This is the owner's/contractor's responsibility to verify this clearance with the Utility
6. Water and sewer lines placed under Highways, streets and driveways must be by bore. If the street is opened cut, it must be backfilled per the City's requirements.
7. Care shall be taken when tapping the existing sewer/water main. All taps must be inspected by the Utility for approval. If the existing sewer/water main is damaged during construction/tapping, the developer will be required to repair/replace the sewer/water main at his expense.
8. Water lines and fittings (tapping sleeves) shall be hydrostatically tested.
9. A minimum of four inches (4") of washed gravel shall be placed beneath the sewer pipes and up to the spring line of the pipes. All pre-cast manhole joints shall be wrapped on the outside of the joint with EZ Wrap Plastic as manufactured by Press Seal Gasket Corporation or an approved equal. The sewer wyes shall be schedule 40 and shall be capped to prevent infiltration and inflow. The sewer wyes shall be located at some uniform distance from the lot lines and be marked to facilitate locating them.
10. The sanitary sewer shall be tested by pressure test and proving rings and will be subject to video inspection. All manholes must be air tested in the presence of the Utility inspector.
11. All sewer mains to be abandoned must be completely filled with flowable fill.
12. All details shall meet the Texarkana Water Utilities Standards.
13. The Texarkana Water Utilities takes no responsibility for any pavement or landscaping placed in easements or right-of-ways and damaged by maintenance or leaks, the excavation will be filled and compacted to the level of the surrounding terrain. The owner will be responsible to replace any pavement or landscaping.
14. Prior to any work commencing, the owner or contractor must open an account with TWU. Then the contractor must obtain a permit from the Texarkana Water Utilities prior to tapping the water or sewer main. Only contractors from the Utilities existing approved list may tap the water main. This list may be obtained from our engineering department.
15. The Utility's engineering department must be notified at least twenty-four (24) hours prior to any construction being started so that an inspector can be assigned to the project. The TWU inspector is not the owner's representative and is on-site part-time only to ensure that actual assembly and construction meet Utility standards.
16. Any existing water or sewer details provided by the Utility is for informational purposes only. The developer/Engineer shall field verify such utilities prior to construction.

The project as submitted is **APPROVED contingent upon the above notes and comments**. If you have any questions or comments, please do not hesitate to contact me.

Attachment: TWU comments on Diamond Bank (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)

Sincerely,

Kenneth L. Icenhower, P.E.
Assistant Executive Director
Texarkana Water Utilities
Office 903-798-3819
Cell 903-277-8216

xc: Gary Smith, P.E., Executive Director, TWU
Tricia Briggs, Director of Finance, TWU
Teresa Akard, Engineering Technician II, TWU
Bill Moss, GIS Technician, TWU
David Waldroup, P.E., Utility Engineering Supervisor, TWU
Dustin Henslee, P.E., CFM, CSI, Texarkana, Texas
Chris Black, Fire Inspector, Texarkana, Texas
Shawn Maxey, Chief Building Official, Texarkana, Texas
Laura Puckett, Administrative Assistant, Texarkana, Texas
Jessica Plant, City of Texarkana, Texas
Joe Chalifoux, P.E., MTG Engineers & Surveyors

Attachment: TWU comments on Diamond Bank (4000 : Amendment to PD-20-4 (GR) site plan approval at 5714 Richmond Rd)

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/27/2023 10:30 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Subject: S-776: Specific Use Permit to allow one additional use of permanent cosmetics on Lot 1, Richmond Acres Subdivision, located at 5822 Richmond Road. John & Kenzie Bullock, owners, and Jordan Johnson, agent.

Meeting Date: 5/1/2023

Attachments

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by John & Kenzie Bullock, owners, and Jordan Johnson, agent, for a Specific Use Permit to allow one additional use of permanent cosmetic procedures/tattooing on Lot 1, Richmond Acres Subdivision, located at 5822 Richmond Road.

The Future Land Use Map has designated this property as "University Planned Development District".

The adjacent zoning is Planned Development-General Retail to the east and south, University Planned Development District to the north, and west. The adjacent land usage is a business to the east vacant property to the north and residential west and south.

A Specific Use Permit is required to allow the one additional use of a permanent cosmetic procedures/tattooing in this zoning district. The application of permanent cosmetics is also considered a tattoo as well as any inked body art. The State of Texas will regulate this business as to licensing and other health related issues. This

City of Texarkana, Texas

request meets all city requirements to allow the one additional use of a tattoo studio on this property. It appears that there is adequate parking for this business.

Staff recommends for approval of this request with the following stipulations:

1. That the owner/or any employee performing the application of tattooing procedures be currently licensed by the State and meet all Federal, State and City licensing laws and health regulations. (A copy of the current license must be provided to the City prior to the opening of the business).
2. That if this use ever ceases at this location, the City may revoke the Specific Use Permit that allows a tattoo studio.
3. That the sale of tobacco products or drug paraphernalia is prohibited.
4. That any remodeling of the current building must meet all city codes and requires licensed contractors.
5. That no painting of the windows or the building with advertisement or graphic art.
6. That if any complaints concerning minors or any violations of the regulations listed above occur, the City has the right to revoke the Specific Use Permit.

The applicant should also be aware that if this zoning change is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notifications and application requirements have been met to consider this request.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of this request with stipulations.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 1, 2023



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 23-001207

Case S-776
Date 4-12-23

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property.

Lot: 1 Block: _____ Addition: Subdivision Richmond Acre
(Or see attached legal description)

Location: Richmond Acres 5822

Present Zoning: UPDD

Requested: Specific Use Permit

The requested Specific Use Permit will be used for the following:

Permanent Cosmetics

Describe the changed conditions, if any, occurring since the original zoning, which affect your property and which justify rezoning:

N/A

Jordan Johnson

Attorney or Agent Signature

Printed Name: Jordan Johnson

1562 MC 70

Address

Texarkana, AR 71854

City, State, Zip

903.559.4708

Home Phone & Cell Phone

jordan.chandlerm34@yahoo.com

Email Address

John Michael Bullock
Kenzie Bullock

Property Owner Signature

Printed Name: Kenzie Bullock

5822 Richmond Rd.

Address

Texarkana, TX 75503

City, State, Zip

903-274-5551

Home Phone & Cell Phone

kenziehenny@yahoo.com

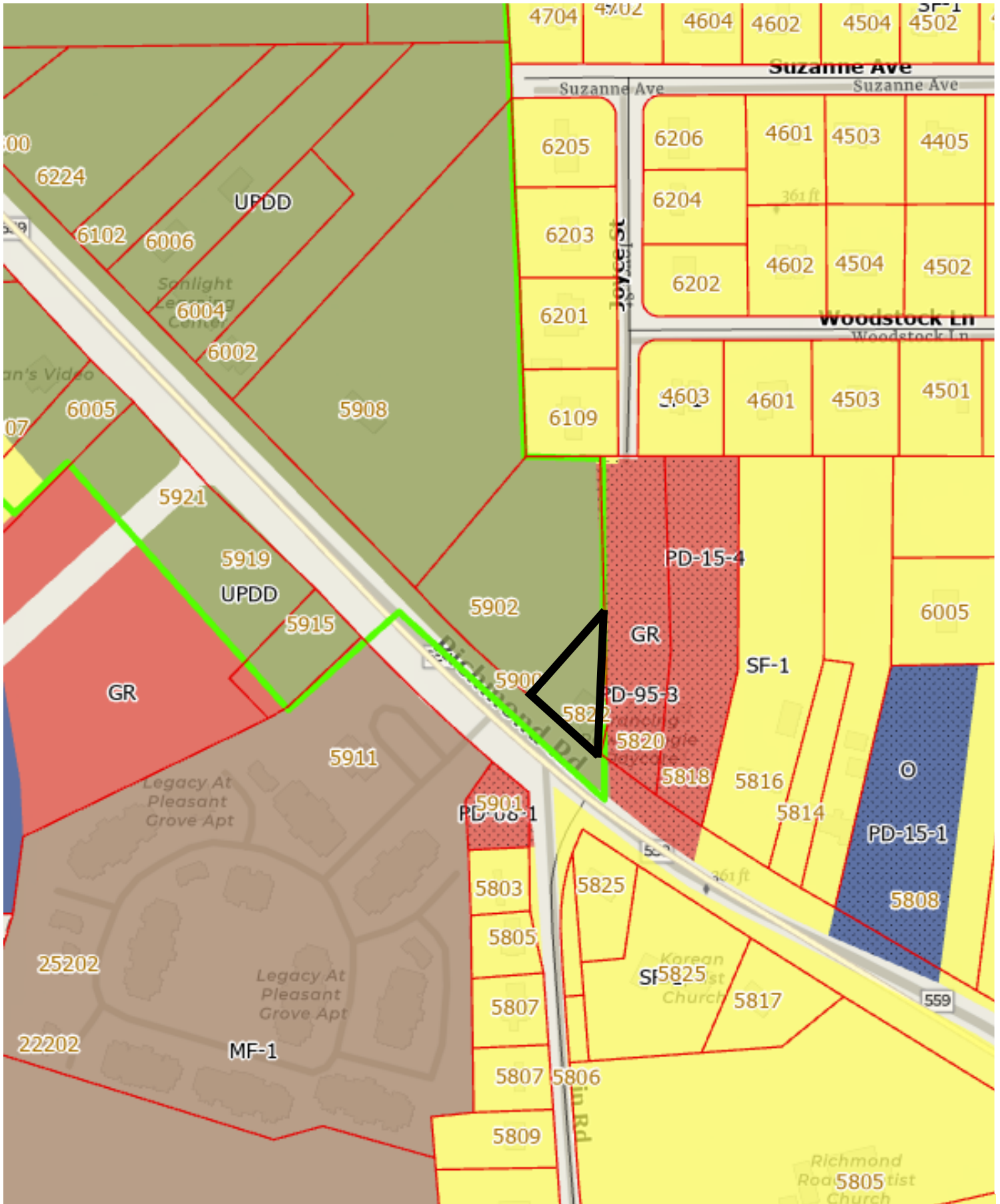
Email Address

Theemmanuelcollective@gmail.com

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4001 : S-776: SUP allow permanent cosmetics at 5822 Richmond Rd)

5822 Richmond Road



Attachment: Maps (4001 : S-776: SUP allow permanent cosmetics at 5822 Richmond Rd)

5822 Richmond Road



Attachment: Maps (4001 : S-776: SUP allow permanent cosmetics at 5822 Richmond Rd)

City of Texarkana, Texas

Version:

Update Date: 4/27/2023 10:31 AM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
S-777: Specific Use Permit to allow an assisted living facility on an approximate 11.25-acre tract of land (being Tract 21), Willis Oldham HRS, A-458, located at 5902 North Park Road. C. Jack Smith, owner, and Steve
Subject: McKee, agent.

Meeting Date: 5/1/2023

Attachments

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Site Plan (PDF)
- d. Maps (PDF)
- e. Elevation (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by C. Jack Smith, owner, and Steve McKee, agent for a Specific Use Permit to allow an assisted living facility on an approximate 11.25-acre tract of land (being Tract 21), Willis Oldham HRS, A-458, located at 5902 North Park Road. The current property is an old home place which will be demolished. The requested use is an assisted living facility in phases. In the Phase 1 on building would be constructed. Total buildings for residents may be three.

The adjacent zoning is Agriculture to the north and east, Single Family-2 to the south and west. The adjacent land use is vacant land to the north, and residential to the east and west and the road-side park/tourist stop to the south.

The Future Land Use Map has designated this property as "Suburban Residential".

City of Texarkana, Texas

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and Comprehensive Plan unless a Planned Development is placed on this property's agriculture zoning. If this request is approved, staff recommends that a Planned Development designation be placed on the Agriculture zoning and restrict use to an assisted living facility only and that any future development be approved by the site plan approval process.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and Comprehensive Plan. However, if this request is approved, staff recommends that a Planned Development designation be placed on the Agriculture zoning and restrict use to assisted living facility only and that any future development be approved by the site plan approval process.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 1, 2023

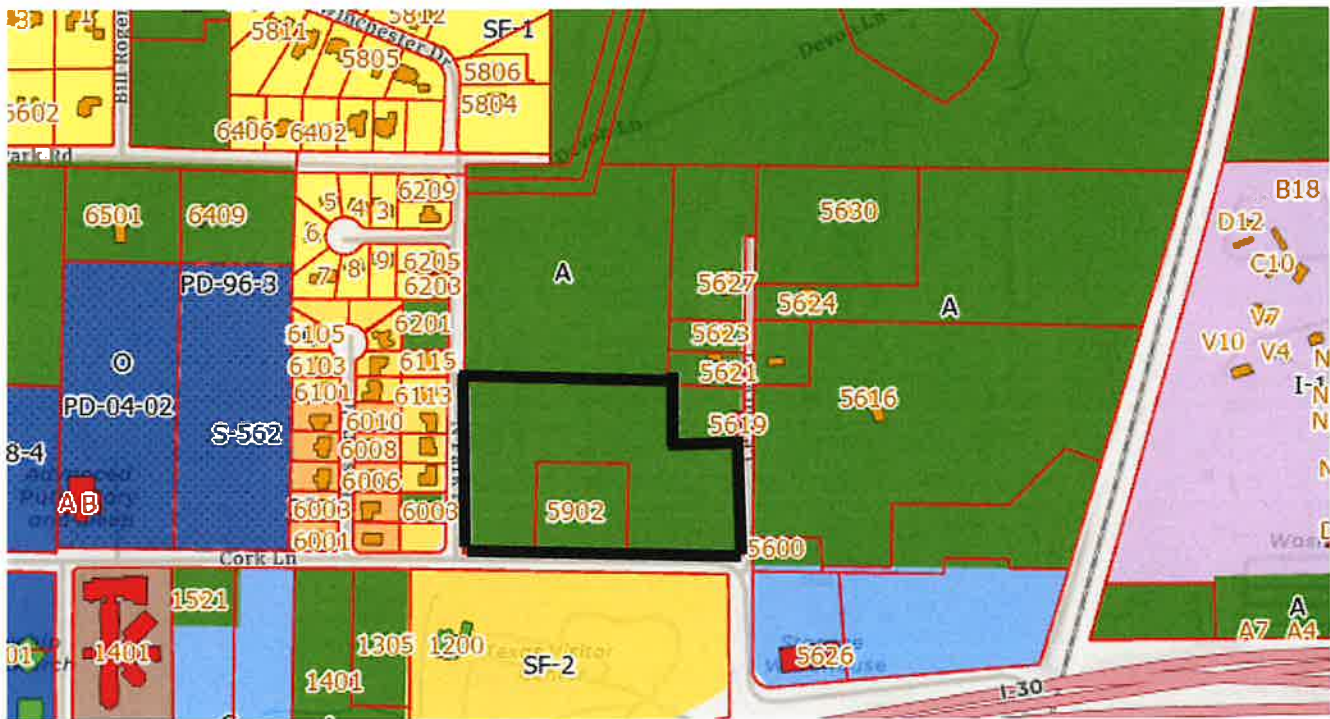
NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: Monday, May 1, 2023 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: Monday, July 10, 2023 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: C. Jack Smith, owner, and Steve McKee, agent

OWNER'S ADDRESS: 4100 Moores Lane, Texarkana, Texas 75503

LOCATION OF REZONING: 5902 North Park Road, Texarkana, Texas 75503

PROPOSED CHANGE: Specific Use Permit to allow an assisted living facility

LEGAL DESCRIPTION: on an approximate 11.25 acre tract of land (being Tract 21), Willis Oldham HRS, A-458

CASE NUMBER: S-777

DATE MAILED: April 20, 2023

Attachment: Hearing Notice and Application (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 23-001195

Case S-777
Date 4-12-23

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property.

Lot: _____ Block: TRACT 21 Addition: WILLIS OLDBHAM A-458
(Or see attached legal description)

Location: 5902 N. PARK RD.

Present Zoning: A - AGRICULTURAL DISTRICT

Requested: Specific Use Permit

The requested Specific Use Permit will be used for the following:

1-3 SMALL ASSISTED LIVING HOMES
done in phases

Describe the changed conditions, if any, occurring since the original zoning, which affect your property and which justify rezoning:

BUILDINGS ON PROPERTY NOT LIVABLE WILL REMOVE.
KEEPING ALL TREES, REMOVING ONLY WHAT'S REQUIRED FOR CONSTRUCTION.

Steve McKee
Attorney or Agent Signature

Printed Name: STEVE MCKEE

6702 UNIVERSITY AVE.
Address

TEXARKANA TX. 75503
City, State, Zip

903-277-5693
Home Phone & Cell Phone

SSSMCKEE@OUTLOOK.COM
Email Address

C. Jack Smith
Property Owner Signature

Printed Name: C. JACK SMITH

4100 MOORES LANE
Address

TEXARKANA TX 75503
City, State, Zip

903 826-0947
Home Phone & Cell Phone

DRECSACKSMITH@gmail.com
Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)

S-777

2023-00000856 Page 3 of 4

PROPERTY DESCRIPTION

All that certain tract or parcel of land situated in the Willis Oldham Headright Survey A-458, Bowie County, Texas, being a portion of a certain 12-3/8 acre tract of land conveyed to R.W. and Betty Miller by deed dated January 24, 1951, of record in Volume 273, Page 56, Deed Records, Bowie County, Texas, being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2" iron pin set at the Northwest corner of said 12-3/8 acre tract, said point being the Southwest corner of a certain 148.83 acre tract of land conveyed to Vasco McCoy, Jr., et ux, by deed of record in Volume 578, Page 450, Deed Records, Bowie County, Texas, said point being in North Park Road;

THENCE: N 89° 38' 57" E, with the North line of said 12-3/8 acre tract, same being the South line of said 148.83 acre tract, 743.29 feet to a 1/2" iron pin set at the Northwest corner of a certain 1.00 acre tract of land conveyed to C. Jack Smith, et ux, by deed dated September 11, 1995, of record in Volume 2367, Page 334, Real Property Records, Bowie County, Texas;

THENCE: S 00° 00' 00" E (South), with the West line of said 1.00 acre tract, 208.71 feet to a 1/2" iron pin set at the Southwest corner of said 1.00 acre tract;

~~THENCE: N 89° 38' 57" E, with the South line of said 1.00 acre tract, 208.71 feet to a 1/2" iron pin set at the Southeast corner of said 1.00 acre tract, said point being on the East line of said 12-3/8 acre tract, and being on the West line of Century Lane;~~

THENCE: S 00° 00' 00" E (South), with the East line of said 12-3/8 acre tract, same being along the West line of said Century Lane, 357.96 feet to a 1/2" iron pin set at the Southeast corner of said 12-3/8 acre tract;

THENCE: S 89° 38' 57" W, with the South line of said 12-3/8 acre tract, same being generally along the center of said North Park Road, 952.00 feet to a 1/2" iron pin set at the Southwest corner of said 12-3/8 acre tract;

THENCE: N 00° 00' 00" W, with the West line of said 12-3/8 acre tract, same being along said North Park Road, 566.67 feet to the PLACE OF BEGINNING containing 11.384 gross acres of land more or less, of which 0.856 acres lies within the boundaries of said North Park Road and Cork Lane, making a net total of 10.528 acres of land more or less.

PROPERTY DESCRIPTION
2.00 ACRE TRACT

All that certain tract or parcel of land situated in the Willis Oldham Headright Survey A-458, Bowie County, Texas, being a portion of a 12-3/8 acre tract of land conveyed to R.W. and Betty Miller, by deed dated January 24, 1951, of record in Volume 273, Page 56, Deed Records, Bowie County, Texas, being more particularly described by metes and bounds as follows:

COMMENCING at a 1/2" iron pin set at the Southeast corner of said 12-3/8 acre tract;

THENCE: S 89° 38' 57" W, with the South line of said 12-3/8 acre tract, 347.36 feet to a 1/2" iron pin set at the POINT OF BEGINNING for the herein described tract of land, said point being in Cork Lane;

THENCE: S 89° 38' 57" W, with the South line of said 12-3/8 acre tract, same being along said Cork Lane, 281.04 feet to a 1/2" iron pin set for corner;

THENCE: N 00° 00' 00" W, (North) 310.00 feet to a 1/2" iron pin set for corner;

THENCE: N 89° 38' 57" E, 281.04 feet to a 1/2" iron pin set for corner;

THENCE: S 00° 00' 00" E. (South) 310.00 feet to the PLACE OF BEGINNING, containing 2.00 gross acres of land more or less, of which 0.161 acre lies within the boundaries of said Cork Lane, making a net total of 1.839 acres of land more or less.

Exhibit
A.

Attachment: Legal Description (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)

S-777

2023-00000856 Page 4 of 4

THE STATE OF TEXAS**COUNTY OF BOWIE**

I hereby certify that this instrument was FILED on the
date and the time stamped hereon by me and was duly
RECORDED in the Records of Bowie County, Texas.

2023-00000856 DEED
01/30/2023 01:35:49 PM Total Fees: \$34.00

Tina Petty, County Clerk
Bowie County, Texas



Attachment: Legal Description (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)

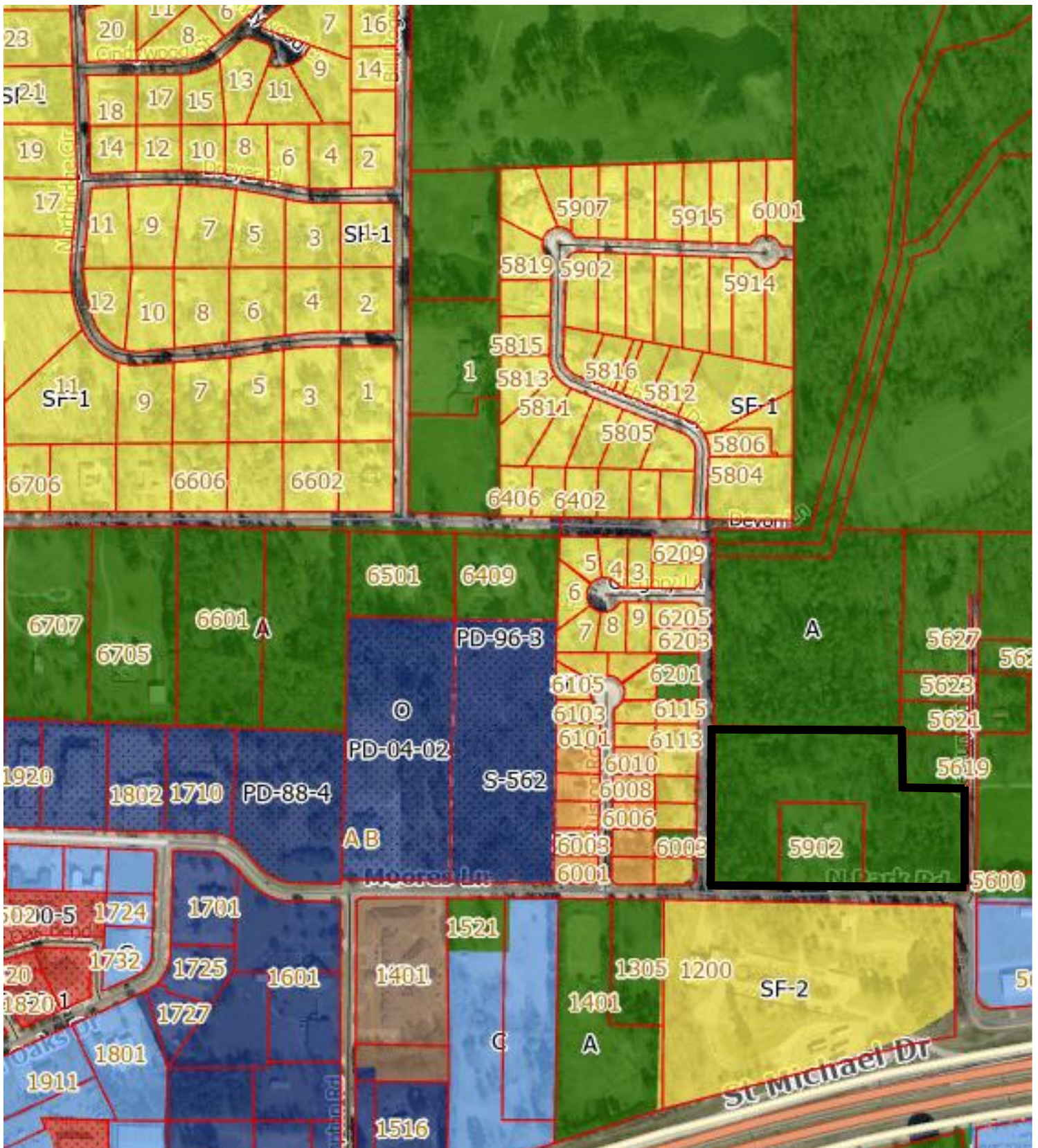
5902 N. Park Texarkana Texas. 75503



Attachment: Site Plan (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)

S-777

5902 N Park Road



Attachment: Maps (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)

S-777

5902 N Park Road



Attachment: Maps (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)

S-777



Attachment: Elevation (4002 : S-777: SUP to allow assisted living facility at 5902 N. Park Rd)

City of Texarkana, Texas

Version:

Update Date: 4/27/2023 9:50 AM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Z-23-6: rezoning Lot 2, Martha S Pace Subdivision, an approximate 1.499-acre tract of land, located in the 3500 Block of Galleria Oaks Drive. Single Family-1 to Multiple Family-1. Joel S. Pace, Trustee Martha Pace Trust, owner, and Brian Henry, agent.

Subject: Henry, agent.

Meeting Date: 5/1/2023

Attachments

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Site Plan (PDF)
- d. Maps (PDF)
- e. Elevations and Floor plans (PDF)
- f. Opposition Galleria Oaks (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Joel S. Pace, Trustee Martha Pace Trust, owner, and Brian Henry, agent, to rezone Lot 2, Martha Pace Subdivision, an approximate 1.499-acre tract of land, located east of 3504 Robin Lane from Single Family-1 to Multiple Family-1. This site is currently a vacant lot. The proposed use is for duplexes.

The Future Land Use Map has designated this property as "Mixed Use Development".

The adjacent zoning is Single Family-1 to the north, south and east and General Retail to the west. The adjacent land use is vacant land to the east and south, residential to the north, and residences and a veterinary clinic to the west.

City of Texarkana, Texas

Staff recommends for approval of this request.

In the event a Planned Development is placed the city would request the following:

1. Property will need to be replatted (one duplex per lot).
2. Duplex must face public/private road (must be built to city road standards – 31' street).
3. Site must be designed to meet City Stormwater Design Manual and Min. Drainage Ordinance.
4. Privacy fence on the west side of the property.
5. Residential fire hydrant will need to be within 300 feet travel distance (hose lay) of the most remote part of the last building.

The applicant should also be aware that if this zoning change is approved, all other applicable city code/ordinance requirements must be met including but not limited to new drainage ordinance, stormwater design manual, building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of this request.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 1, 2023

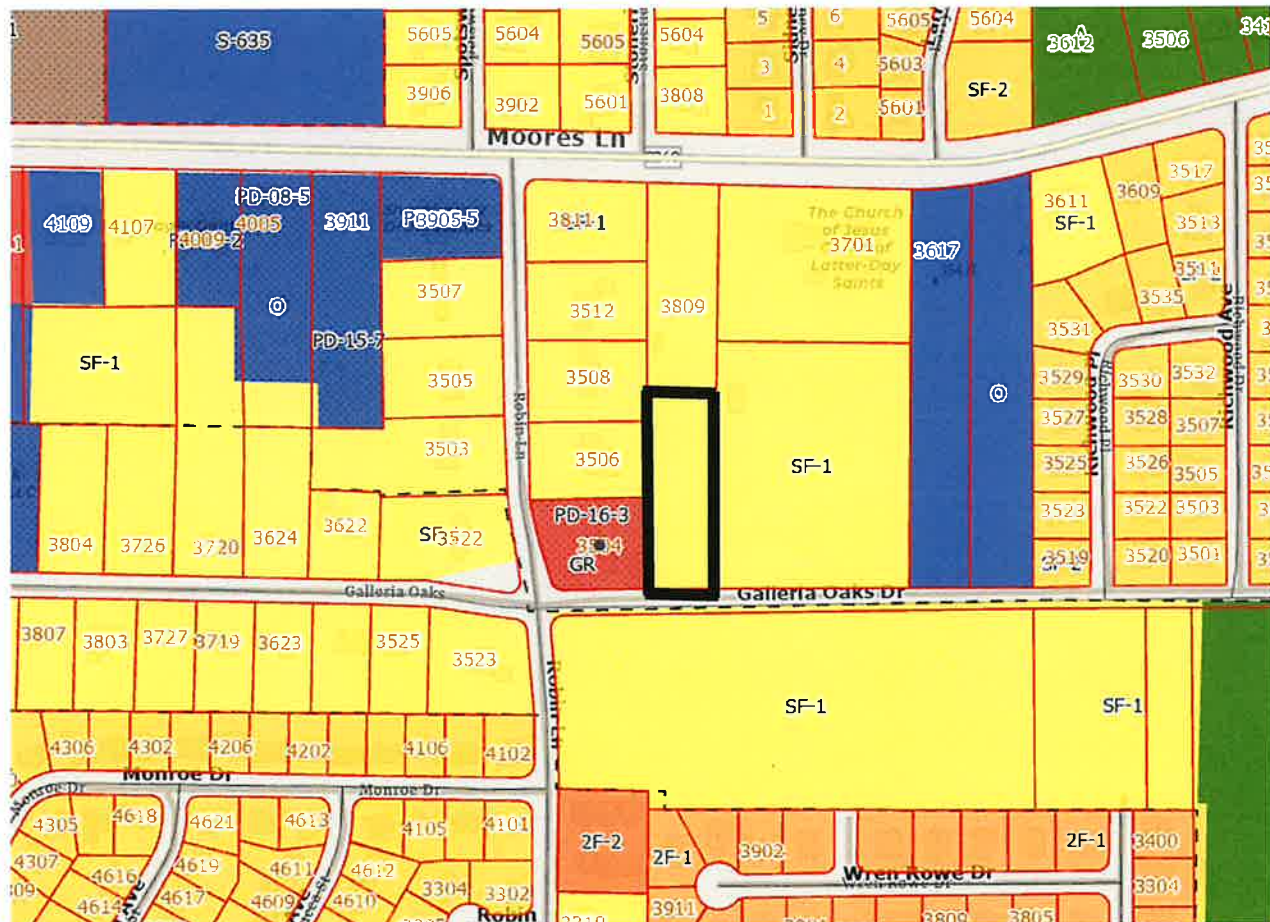
NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, May 1, 2023 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, July 10, 2023 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: Joel S. Pace, Trustee Martha Pace Trust, owner and Brian Henry, agent

OWNER'S ADDRESS: 212 Ponte Vedra Drive, Murrels Inlet, SC 2955763

LOCATION OF REZONING: 3400 Block of Galleria Oaks Drive, Texarkana, Texas 75503

PROPOSED CHANGE: construction of duplexes

ZONING CHANGE FROM: Single Family-1 TO: Multiple Family-1

LEGAL DESCRIPTION: Lot 2, Martha Pace Subdivision, an approximate 1.499-acre tract of land

CASE NUMBER: Z-23-6

DATE MAILED: April 20, 2023



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 23-000391 Case Z-23-6 Date 2-15-23

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property:

Lot: 2 Block: _____ Addition: Martha S Pace
(Or see attached legal description)

Location: Galleria Oaks, Texarkana, Tx. 75503

Present Zoning: SF-1

Proposed Zoning: Multi-Family-Duplex

If the Zoning Classification is changed by the Commission, this property will be used as:

Multi-Family-Duplex

Describe the changed conditions occurring since the original zoning which affect your property and justify rezoning:

DocuSigned by:

Brian Henry

9E89EFFD590D4F6...

Attorney or Agent Signature

Brian Henry

Print Name

5120 Summerhill Rd

Address

Texarkana TX 75503

City, State, Zip

903-824-0268 & 903-691-0941

Home Phone & Cell Phone

texarkagentgmail.com & jerry@amreal.com

Email Address

DocuSigned by:

JOEL S. PACE - TRUSTEE

145EE4BDE050464...

Property Owner Signature

JOEL S. PACE - TRUSTEE

Print Name

212 Ponte Vedra Dr

Address

MURRELS INLET, SC 295576

City, State, Zip

903-278-1951

Home Phone & Cell Phone

joelpaces@aol.com

Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

PROPERTY DESCRIPTION:

All that certain tract or parcel of land being a part of the GEORGE BRINLEE HEADRIGHT SURVEY, Abstract No. 18, Bowie County, Texas, and being all of Tract 1 (called 3.00 acres) as conveyed to Martha S. Pace, Trustee of the Martha S. Pace Trust by Warranty Deed recorded in Volume 3822, Page 305 of the Real Property Records of Bowie County, Texas, and the subject tract of land being more particularly described by metes and bounds as follows:

Commencing at a point in the South right-of-way line of Moore's Lane and in the East boundary line of the George Brinlee Headright Survey, said point being located S 01°10'00" E, 72.90 feet from the Northeast corner of said Brinlee Headright Survey;

THENCE: S 75°38'00" W, 104.94 feet with the South right-of-way line of Moore's Lane to a point for corner;

THENCE: N 89°33'00" W, 560.35 feet with the South right-of-way line of Moore's Lane to a ½" iron pin set for corner at the Northeast corner of said called 3.00 acre tract and the Northwest corner of a certain 8.00 acre tract of land as conveyed to Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints by Warranty Deed recorded in Volume 422, Page 250 of the Deed Records of Bowie County, Texas, and being the Point of Beginning for the herein described tract of land;

THENCE: S 01°10'00" E, 861.99 feet with the East line of said called 3.00 acre tract and the West line of said 8.00 acre tract to a ½" iron pin set for corner on the North line of Galleria Oaks Drive, said corner being the Southeast corner of said called 3.00 acre tract and the Southwest corner of said 8.00 acre tract;

THENCE: S 88°46'00" W, 151.09 feet with the South line of said called 3.00 acre tract of land and the North line of Galleria Oaks Drive to a 1" iron pipe found for corner at the Southwest corner of said called 3.00 acre tract and the Southeast corner of Lot No. 13 of Ames Acres;

THENCE: N 01°10'00" W, 866.43 feet with the West line of said called 3.00 acre tract and the East line of Ames Acres to a 1" iron pipe found for corner at the Northwest corner of said called 3.00 acre tract and the Northeast corner of Lot No. 17 of Ames Acres, said corner being located on the South right-of-way line of Moore's Lane;

THENCE: S 89°33'00" E, 151.15 feet with the North line of said called 3.00 acre tract and the South right-of-way line of Moore's Lane to the Point of Beginning and containing 2.998 acres of land, more or less.

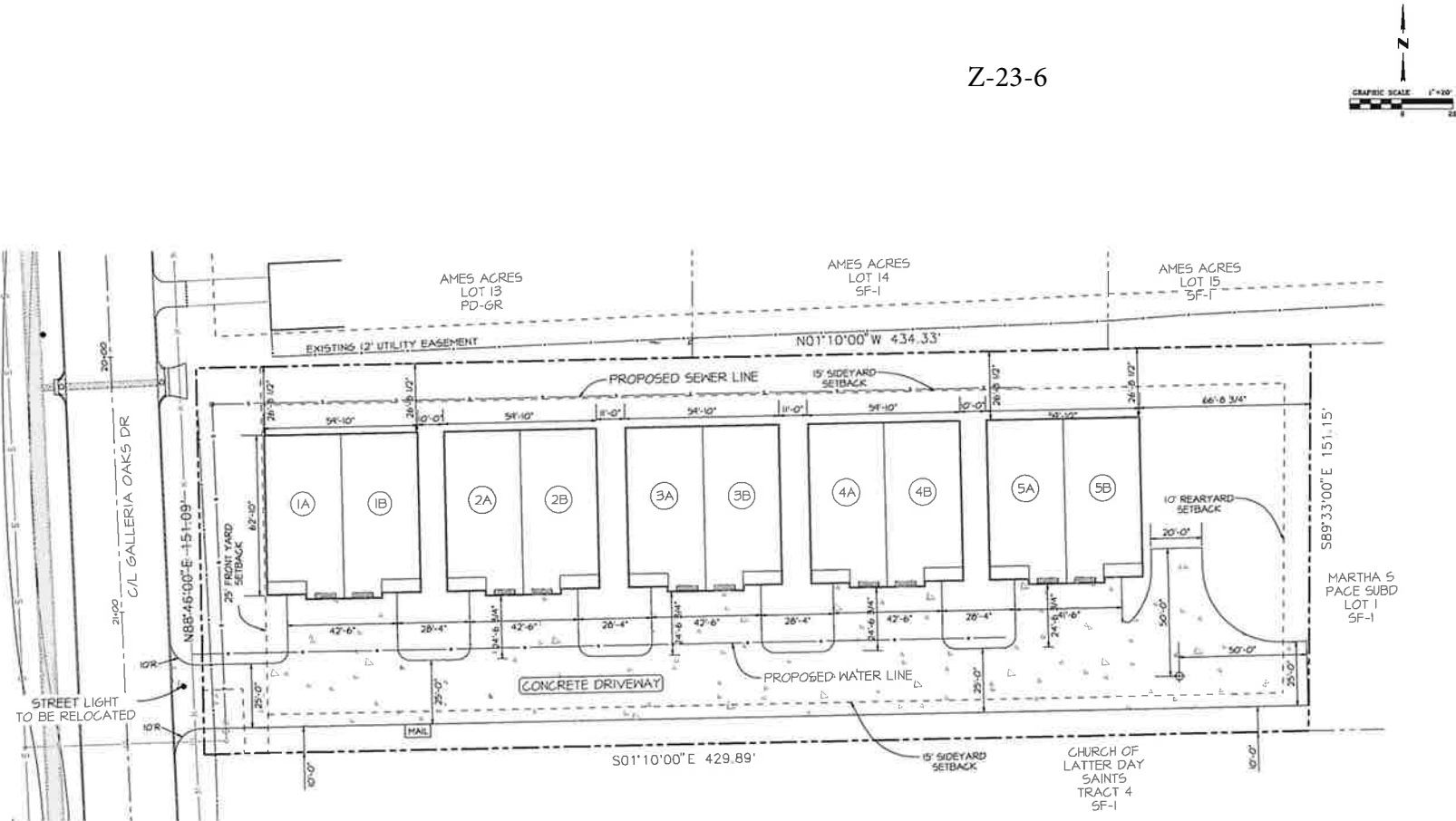
CERTIFICATE OF SURVEYOR

I, Johnny E. Plunk, Jr., do hereby certify that I am a Registered Professional Land Surveyor in the State of Texas, and that the plat of the hereon described property correctly reflects the results of a survey by me and that the corner monuments are in place and/or will be placed at the points on the boundary of the subdivision as shown on the plat of same, and that the survey substantially complies with the current Texas Society of Professional Surveyors standards and specifications. The subdivision is to be known as MARTHA S. PACE SUBDIVISION, a part of the George Brinlee Headright Survey, Abstract No. 18, Bowie County, Texas.


 JOHNNY E. PLUNK, JR.
 REGISTERED PROFESSIONAL LAND SURVEYOR
 TEXAS NO. 5080



DATE: 7/25/2023
DRAWN BY: J. L. BROWN
CHECKED BY: J. L. BROWN
DESIGNED BY: J. L. BROWN
PROJECT: 226-059
SHEET: 1 OF 1



Z-23-6

SITE DATA

LEGAL DESCRIPTION: ALL OF LOT NO. 2 OF THE MARTHA S PAGE SUBDIVISION, A MINOR PLAT BEING A PART OF THE GEORGE BRINLEE HRS, A-10, TEXARKANA, BOWIE COUNTY, TEXAS AS RECORDED IN INSTRUMENT NO. 2014-00007160 OF THE DEED RECORDS OF BOWIE COUNTY, TEXAS.

LOT SIZE = 1.449 ACRES

CURRENT ZONING = SINGLE FAMILY-1
PROPOSED ZONING = MULTI-FAMILY-1 PLANNED DEVELOPMENT

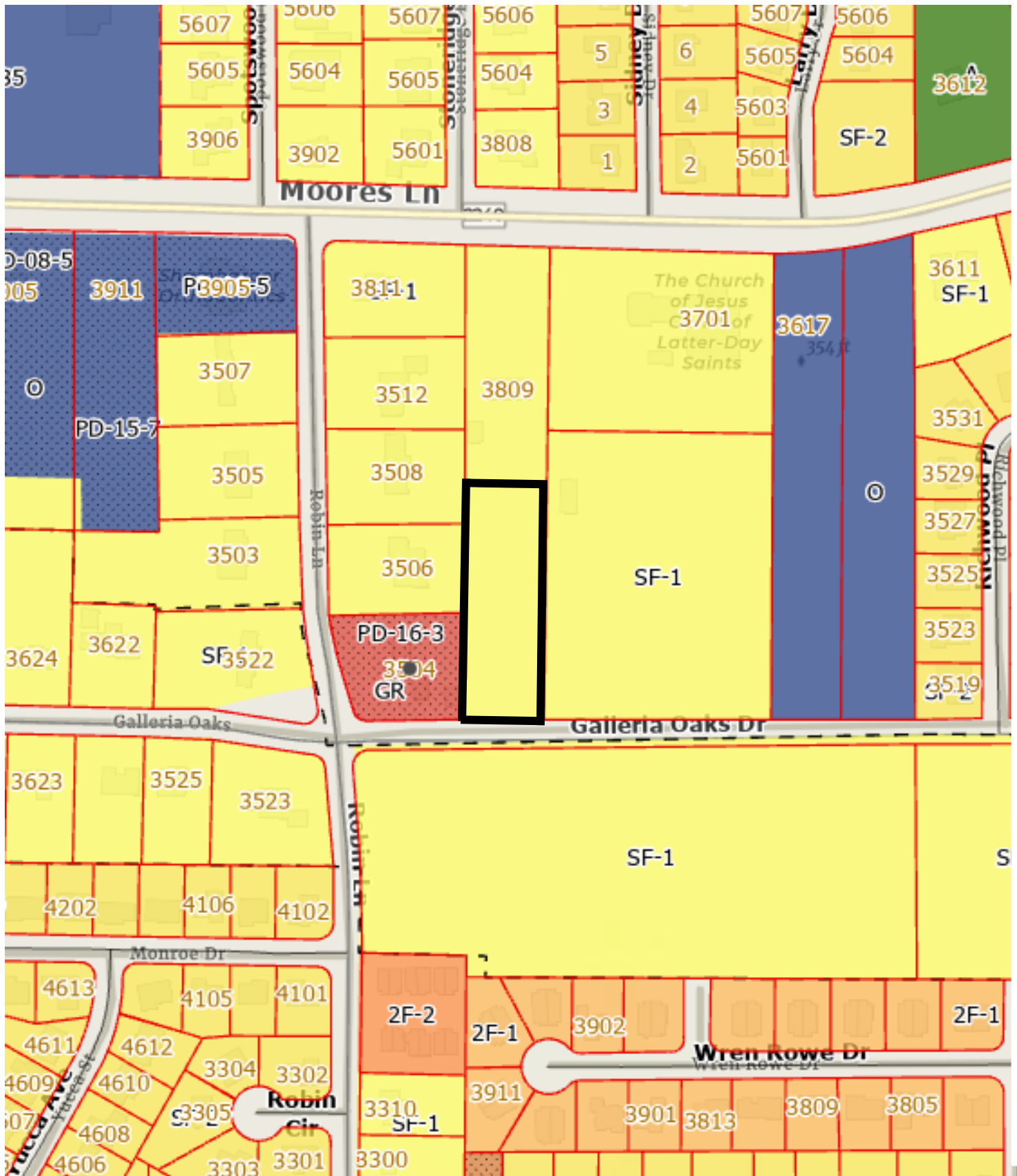
PROPOSED DUPLEX BUILDINGS = 5
PROPOSED DUPLEX SIZE = 2,440 SQ FT +/-
TOTAL BUILDING AREA = 12,400 SQ FT

PARKING REQUIRED = 20 SPACES (2 SPACES PER UNIT)
PARKING PROVIDED = 30 SPACES (3 SPACES PER UNIT) (1 GARAGE SPACE & TWO EXTERIOR SPACES)

MTG ENGINEERS & SURVEYORS	
6000 SUMMIT HILL ROAD TEXARKANA, TEXAS 75701 PHONE: 940-875-1234 FAX: 940-875-1235 WWW.MTG-ENGINEERS.COM TYPE PERM NO. 12345 DATE OF EXPIRATION: 12/31/2025 © MTG 2023	
PRELIMINARY - FOR REVIEW ONLY. NOT INTENDED FOR BIDDING. CONSTRUCTION OF PERMIT PURPOSES. DATE: 7/25/2023. DRAWN BY: J. L. BROWN. CHECKED BY: J. L. BROWN. DESIGNED BY: J. L. BROWN.	
PLANNED DEVELOPMENT SITE PLAN	
CHOI DUPLEXES GALLERIA OAKS DRIVE BOI CHOI	
Drawing Date: 3/1/2023 Project Number: 226-059 Sheet Number: PD 1	

Attachment: Site Plan (4003 : Z-23-6: rezoning from SF-2 to A at 3500 Block Galleria Oaks)

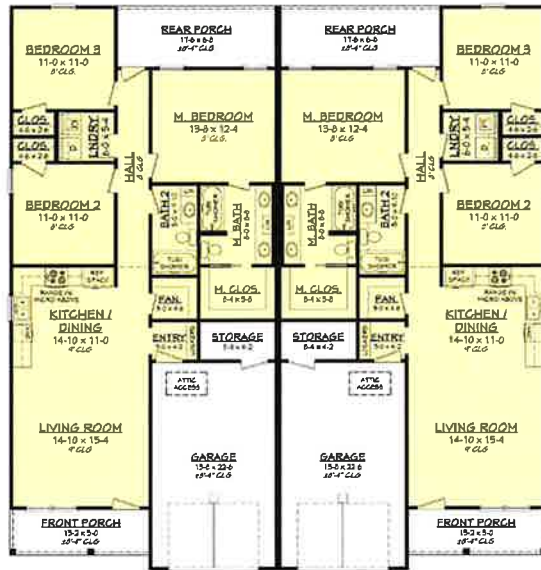
Galleria Oaks Drive



Attachment: Maps (4003 : Z-23-6: rezoning from SF-2 to A at 3500 Block Galleria Oaks)

Galleria Oaks Drive

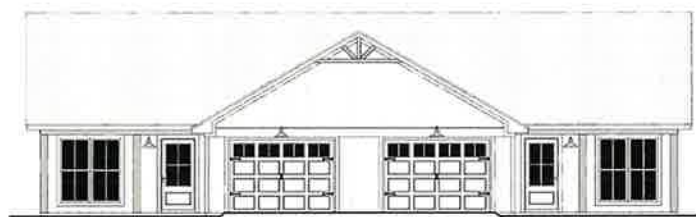




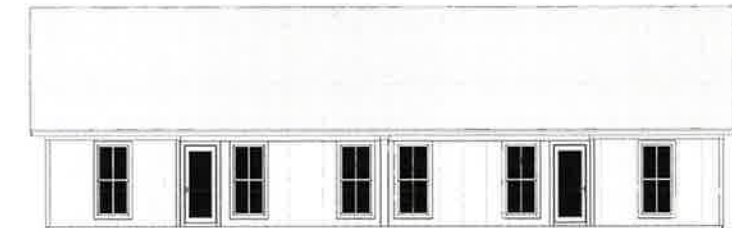
FLOOR PLAN
N.T.S.



FRONT ELEVATION RENDERING
N.T.S.



FRONT ELEVATION
N.T.S.



REAR ELEVATION
N.T.S.



SIDE ELEVATION
N.T.S.

NOTE: ALL BUILDING SIDING
WILL BE BRICK.

900 SUMMIT HILL ROAD
TEARANA, TEXAS 75785
www.mtg-engineers.com
TYPE PERM NO. F-304
DATE 03/17/2023
© MTG 2023

MTG
ENGINEERS
& SURVEYORS

PRELIMINARY - FOR
REVIEW ONLY. NOT
INTENDED FOR
BIDDING.
CONSTRUCTION &
PERMIT PURPOSES
3/17/2023
DAVID A. WILLIAM
P.E. #66437

DATE	BY	REVISION

FLOORPLAN
AND
ELEVATIONS

CHOI DUPLEXES
GALLERIA OAKS DRIVE
BOI CHOI

Working Date	3/17/2023
Project Name	226053
Sheet Number	PD 2

226053-02 PD 2 3/17/2023 BOI CHOI 900 SUMMIT HILL ROAD, TEARANA, TEXAS 75785

PETITIONDATE: March 26, 2023CASE NUMBER: Z-23-6LEGAL DESCRIPTION OF
REZONING REQUEST:Lot 2, Martha Pace Subdivision

To: Texarkana Planning and Zoning Commission

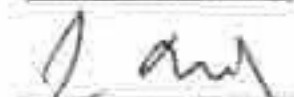
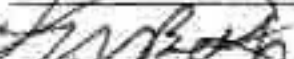
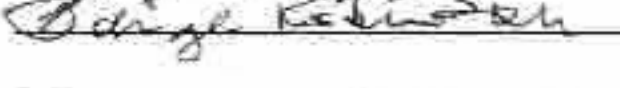
We, the undersigned owners of property affected by the requested zoning change described in the referenced file, do hereby protest against any change of the Land Development Code which would zone the property to any classification other than Single Family-1(SF-1).

We are in opposition for the following reasons:

- **Decreased property values and desirability!** When connected properties were purchased, our backyards had a house on 3 acres behind them that has recently split into 2 lots. The remaining 1.5 acres of former backyard will be turned into crowded chaos on the proposed property.
- **Loss of privacy:** Robin Ln. is a very busy street, and 1.5 acres of multiple dwellings in our backyard would be that or worse afterwards. All properties in Ames Acres Subdivision and connected properties have an acre or more each per dwelling.
- **Increased water runoff:** West side of proposed property ditch fills up with storm water now during heavy rains even after ditches on Robin Ln. have been previously reworked in an attempt to keep houses from flooding, 2 properties have had water in structures and nearly in the houses after ditch re-work. A study needs to be conducted to determine upstream flood potential from stormwater runoff after adding dwellings, drives, and a street on proposed property.

(PLEASE USE BLACK INK WHEN SIGNING PETITION)

SIGNATUREPRINTED NAMEADDRESS

	James Ward	3504 Robin Lane
	MICHAEL BETH	3506 ROBIN LANE
Patricia T. Beth	Patricia T. Beth	3506 Robin Lane
Cindy Hudson	Cindy Hudson	3508 Robin Lane
	James Robinson	3512 Robin Ln.
	Paige Robinson	3512 Robin Ln.

CONTACT NAME: MIKE BETH
PHONE NUMBER: 903.733.1420

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/27/2023 10:31 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Subject: Z-23-11: rezoning WPT Lot 20 and All 21, Block 6, H.S. Janes HRS, A-306, located at 4307 Gazola Street. Single Family-1 to Agriculture. Inez Dixon, owner, and Charles Griffin Jr., agent.

Meeting Date: 5/1/2023

Attachments

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Maps (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Inez Dixon, owner, and Charles Griffin Jr., agent to rezone WPT Lot 20 All 21, Block 6, H.S. Janes HRS, A-306, located at 4307 Gazola Street from Single Family-2 to Agriculture.

The adjacent zoning is Industrial-1 to the north, Commercial to the east, Single Family-2 to the south and Loop1512/I369 to the west. The adjacent land use is trucking company to the north, residential to the east, vacant land to the south Loop1512/I369 to the west.

The Future Land Use Map has designated this property as "Industrial".

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and the Comprehensive Plan.

City of Texarkana, Texas

The applicant should also be aware that if this zoning change is approved, all other applicable city code/ordinance requirements must be met including but not limited to new drainage ordinance, stormwater design manual, building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and the Comprehensive Plan.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 1, 2023

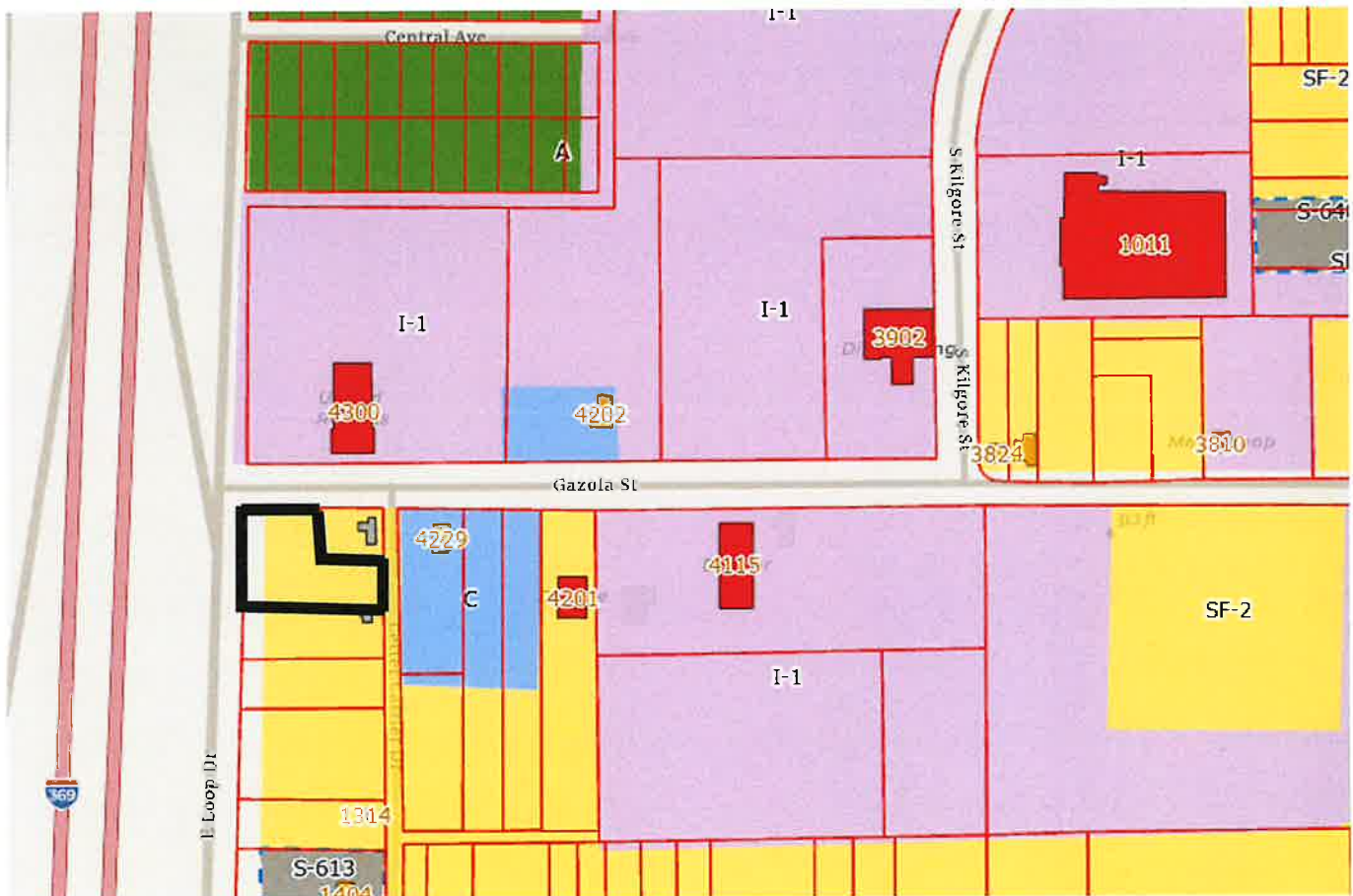
NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, May 1, 2023 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, July 10, 2023 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: Inez Dixon, owner and Charles Griffin Jr., agent

OWNER'S ADDRESS: 3702 Elizabeth Street, Texarkana, Texas 75501

LOCATION OF REZONING: 4307 Gazola Street, Texarkana, Texas 75501

PROPOSED CHANGE: Recreational Vehicle (RV) park

ZONING CHANGE FROM: Single Family-2 TO: Agriculture

LEGAL DESCRIPTION: WPT Lot 20 All 21, Block 6, H.S. Janes HRS, A-306

CASE NUMBER: Z-23-11 DATE MAILED: April 20, 2023



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 23-001071 Case Z-23-11 Date 4-4-23

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property:

Lot: WPT Lot 20A1121 Block: 10 Addition: H.S. Jones HRS A-306
(Or see attached legal description)

Location: 4301 Gazola Street and Little Canada Road, Texarkana, TX 75501

Present Zoning: Residential SF-2

Proposed Zoning: Agriculture

If the Zoning Classification is changed by the Commission, this property will be used as:

RV Park

Describe the changed conditions occurring since the original zoning which affect your property and justify rezoning:

There are 3 Commercial properties that are operating around the property since the property at 4301 Gazola and Little Canada was listed as residential.

Charles L. Griffin Jr.
Attorney or Agent Signature

Charles L. Griffin Jr.
Print Name

48 Geneva Rd.
Address

Texarkana, TX 75501
City, State, Zip

(903) 276-6213
Home Phone & Cell Phone

Cgriffin20052005@yahoo.com
Email Address

Inez Dixon
Property Owner Signature

INEZ DIXON
Print Name

3702 Elizabeth St
Address

Texarkana, Texas
City, State, Zip

903-701-2923
Home Phone & Cell Phone

Inezdixon1953@gmail.com
Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4004 : Z-23-11: rezoning SF-1 to Agriculture at 4307 Gazola St)

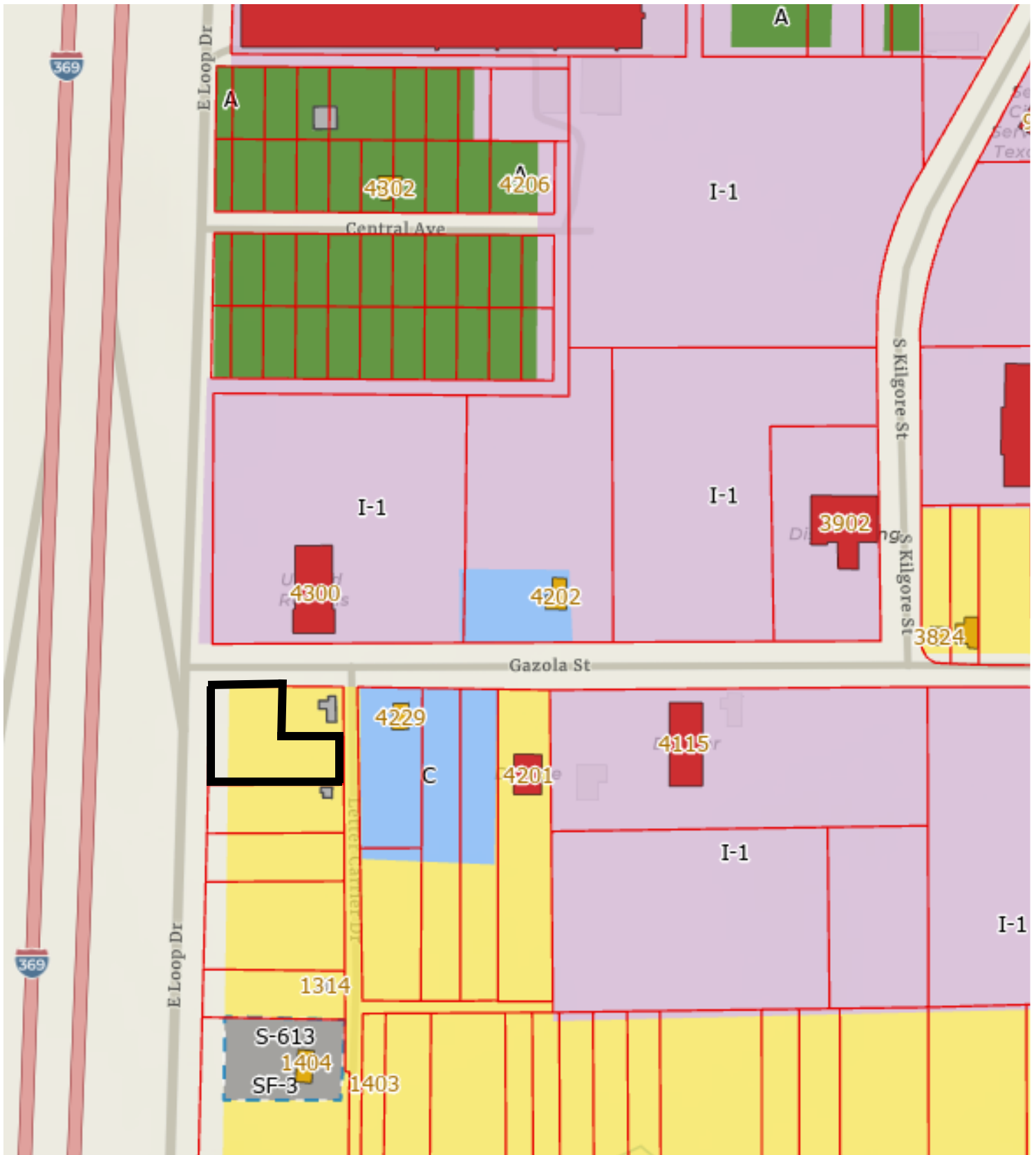
Z-23-11

Legal Descriptions

1. The East Half (E-1/2) of Lot Numbered Twenty (20) and all of Lot Numbered Twenty-two (22) in a Subdivision of Block Numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
2. The south 100 feet of the west one-half (1/2) of Lot Numbered Twenty-Two (22) in a subdivision of Block Numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
3. All of Lot Numbered Twenty-one (21) of a subdivision of Block Numbered Six (6) of H. S. JAMES H. R. SURVEY, Bowie County, Texas.
4. The East 150 feet of Lot numbered Twenty-two (22) in a Subdivision of Block numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
5. Lots Numbered Eight and Nine (8&9) in Block numbered Eighteen (18) OF CITY IMPROVEMENT COMPANY'S WEST SIDE ADDITION to The City of Texarkana, Bowie County, Texas, according to the map or Plat recorded in Volume 14, Page 62 of the Deed Records of Bowie County, Texas, SAVE AND EXCEPT the Northeast One-Quarter (NE 1/4) of Numbered 8 in Block Numbered 18 of said Addition.

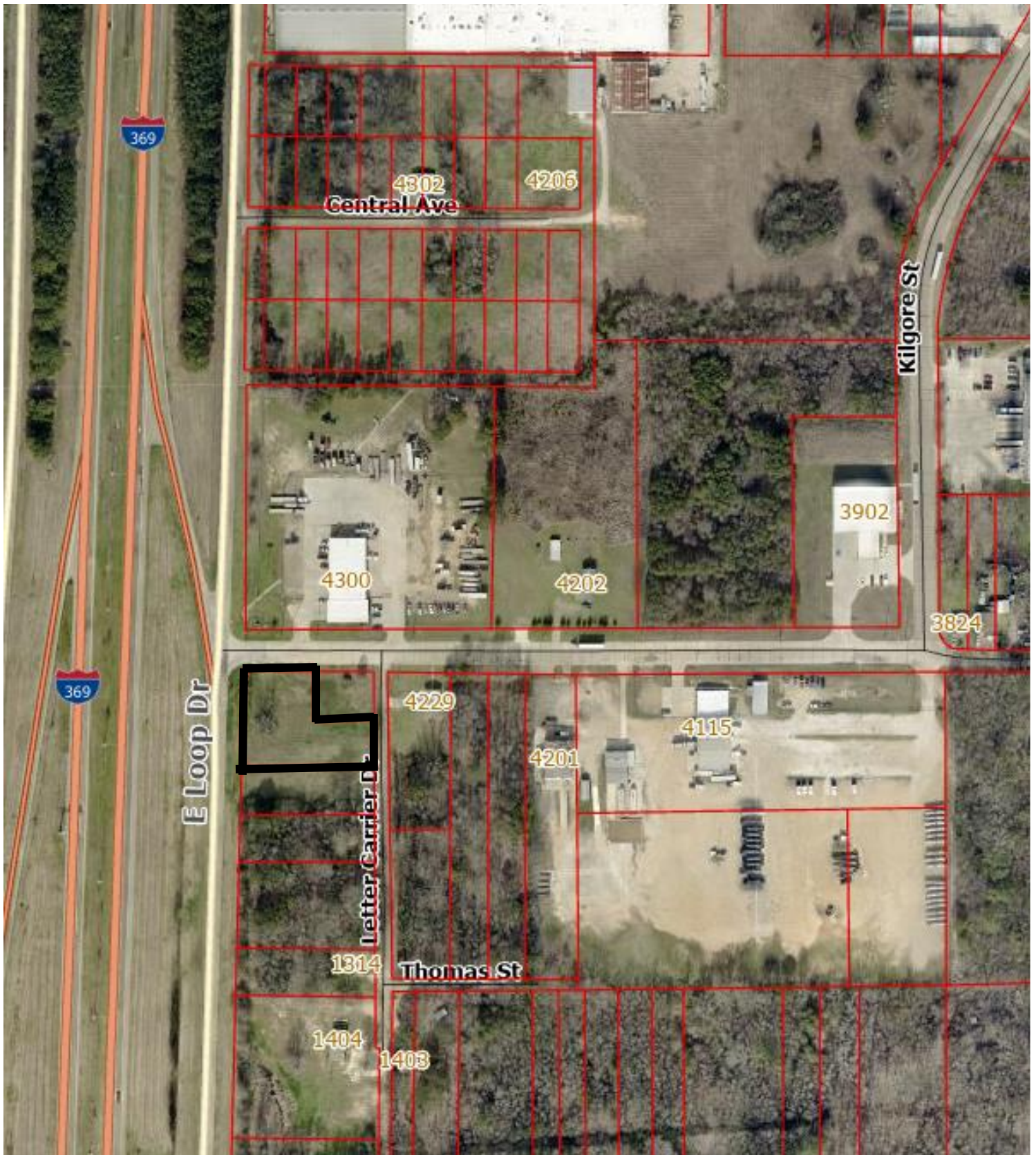
Attachment: Legal Description (4004 : Z-23-11: rezoning SF-1 to Agriculture at 4307 Gazola St)

4307 Gazola Street



Attachment: Maps (4004 : Z-23-11: rezoning SF-1 to Agriculture at 4307 Gazola St)

4307 Gazola Street



Attachment: Maps (4004 : Z-23-11: rezoning SF-1 to Agriculture at 4307 Gazola St)

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/27/2023 10:14 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Subject: Z-23-12: rezoning EPT Lot 20, Block 6, H.S. Janes HRS, A-306, located at 4301 Gazola Street. Single Family-2 to Agriculture. Inez Dixon, owner, and Charles Griffin, Jr., agent.

Meeting Date: 5/1/2023

Attachments

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Maps (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Inez Dixon, owner, and Charles Griffin Jr., agent to rezone EPT Lot 20, Block 6, H.S. Janes HRS, A-306, located at 4301 Gazola Street Single Family-2 to Agriculture.

The adjacent zoning is Industrial-1 to the north, Commercial to the east, Single Family-2 to the south, and west. The adjacent land use is trucking company to the north, residential to the east, vacant land to the south and west.

The Future Land Use Map has designated this property as "Industrial".

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and the Comprehensive Plan.

The applicant should also be aware that if this zoning change is approved, all other applicable city code/ordinance requirements must be met including but not limited to new drainage ordinance, stormwater design manual, building codes, setbacks,

City of Texarkana, Texas

subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and the Comprehensive Plan.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 1, 2023

NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, May 1, 2023 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, July 10, 2023 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: Inez Dixon, owner, and Charles Griffin Jr., agent

OWNER'S ADDRESS: 3702 Elizabeth Street, Texarkana, Texas 75501

LOCATION OF REZONING: 4301 Gazola Street, Texarkana, Texas 75501

PROPOSED CHANGE: Recreational Vehicle (RV) Park

ZONING CHANGE FROM: Single Family-2 TO: Agriculture

LEGAL DESCRIPTION: EPT Lot 20, Block 6, H. S. Janes HRS, A-306

CASE NUMBER: Z-23-12 DATE MAILED: April 20, 2023

Attachment: Hearing Notice and Application (4005 : Z-23-12: rezoning SF-2 to Agriculture at 4301 Gazola St.)



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945

www.ci.texarkana.tx.us.org

Receipt No. 23-001071 Case Z-23-12 Date 4-4-23

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property:

Lot: EPT 20 Block: 6 Addition: HS James HRS A-306
(Or see attached legal description)

Location: 4301 Gazola

Present Zoning: SF-2

Proposed Zoning: Agriculture

If the Zoning Classification is changed by the Commission, this property will be used as:

RV Park

Describe the changed conditions occurring since the original zoning which affect your property and justify rezoning:

Attorney or Agent Signature

Charles R. Griffin, Jr.

Print Name

78 Geneva Street

Address

Texarkana Tx 75501

City, State, Zip

903-276-6213

Home Phone & Cell Phone

Cgriffin20052005@yahoo.com

Email Address

Property Owner Signature

Inez Dixon

Print Name

3702 Elizabeth St.

Address

Texarkana Tx 75501

City, State, Zip

903-701-2923

Home Phone & Cell Phone

Inezdixon1953@gmail.com

Email Address

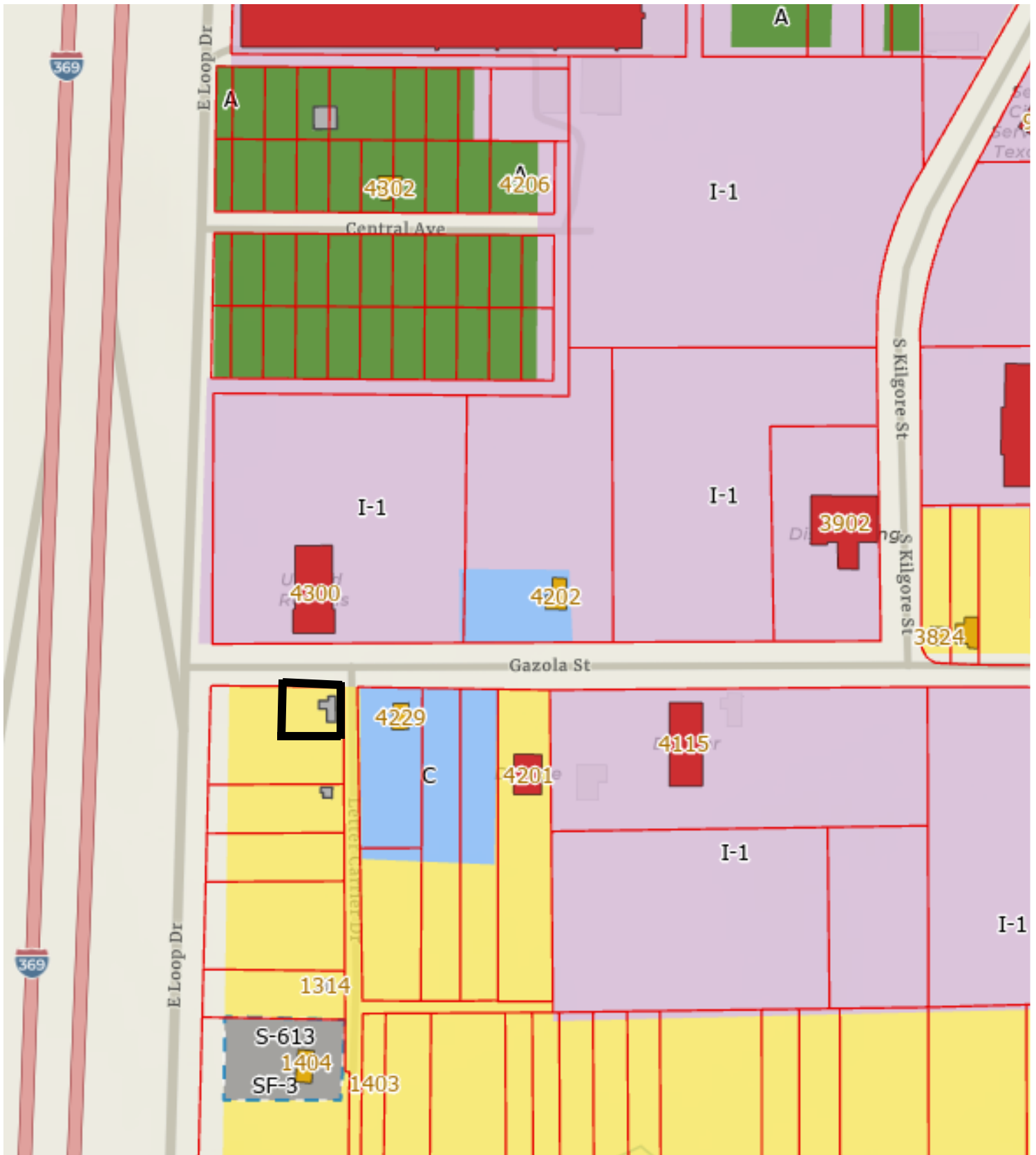
BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Attachment: Hearing Notice and Application (4005 : Z-23-12: rezoning SF-2 to Agriculture at 4301 Gazola St.)

Legal Descriptions

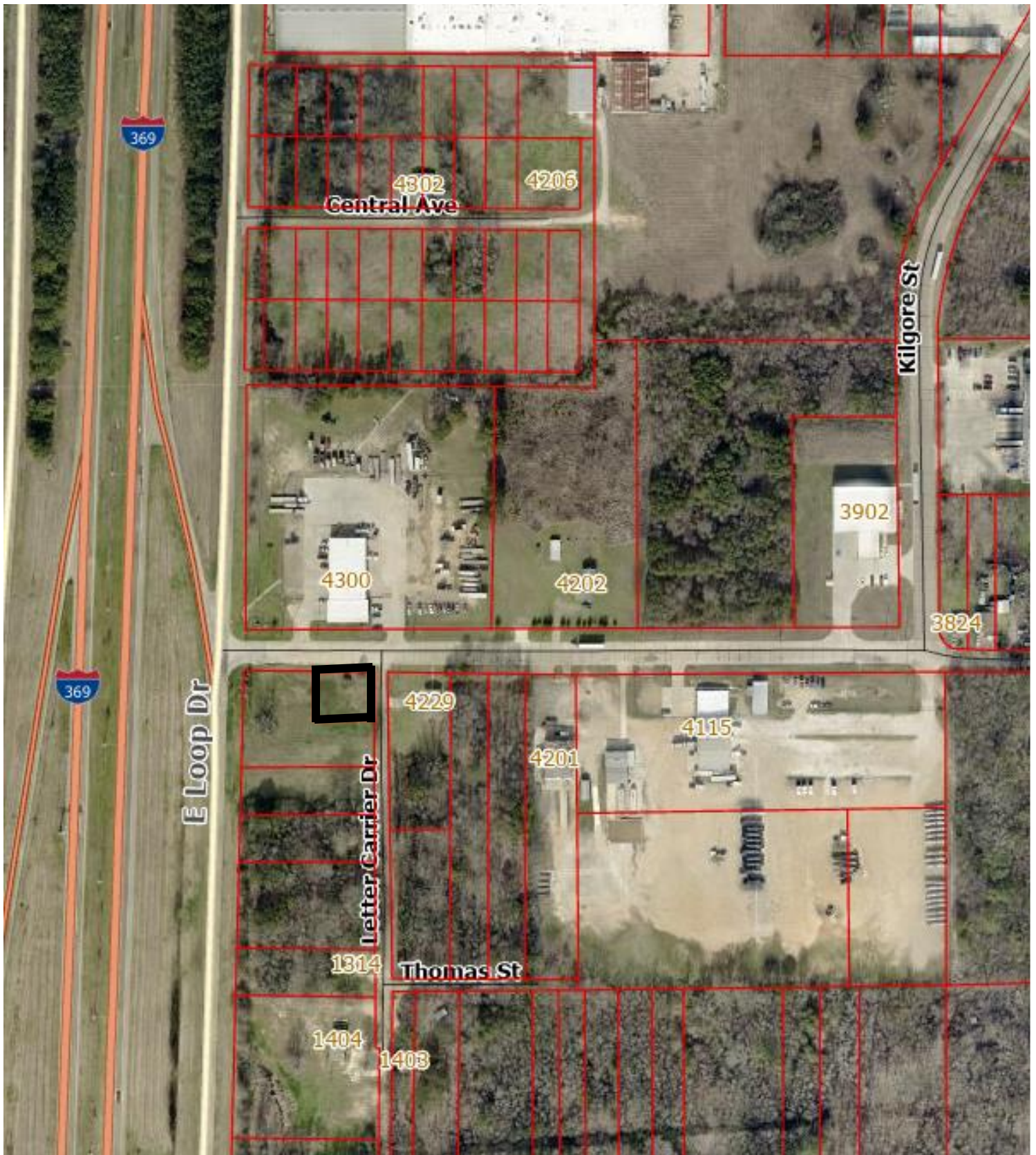
1. The East Half (E-1/2) of Lot Numbered Twenty (20) and all of Lot Numbered Twenty-two (22) in a Subdivision of Block Numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
2. The south 100 feet of the west one-half (1/2) of Lot Numbered Twenty-Two (22) in a subdivision of Block Numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
3. All of Lot Numbered Twenty-one (21) of a subdivision of Block Numbered Six (6) of H. S. JAMES H. R. SURVEY, Bowie County, Texas.
4. The East 150 feet of Lot numbered Twenty-two (22) in a Subdivision of Block numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
5. Lots Numbered Eight and Nine (8&9) in Block numbered Eighteen (18) OF CITY IMPROVEMENT COMPANY'S WEST SIDE ADDITION to The City of Texarkana, Bowie County, Texas, according to the map or Plat recorded in Volume 14, Page 62 of the Deed Records of Bowie County, Texas, SAVE AND EXCEPT the Northeast One-Quarter (NE 1/4) of Numbered 8 in Block Numbered 18 of said Addition.

4301 Gazola Street



Attachment: Maps (4005 : Z-23-12: rezoning SF-2 to Agriculture at 4301 Gazola St.)

4301 Gazola Street



Attachment: Maps (4005 : Z-23-12: rezoning SF-2 to Agriculture at 4301 Gazola St.)

City of Texarkana, Texas

Version:

Update Date: 4/27/2023 10:24 AM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator
Subject: Z-23-13: rezoning Lot 22, Block 6, H.S. Janes HRS, A-306, located at 1312 Letter Carrier Drive. Single Family-2 to Agriculture. Inez Dixon, owner, and Charles Griffin, Jr., agent.

Meeting Date: 5/1/2023**Attachments**

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Maps (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by Inez Dixon, owner, and Charles Griffin Jr., agent to rezone Lot 22, Block 6, H.S. Janes HRS, A-306, located at 1312 Letter Carrier Drive from Single Family-2 to Agriculture.

The adjacent zoning is Single Family-2 to the south and north, Loop1512/I369 to the west, Commercial to the east. The adjacent land use is trucking company to the north, residential to the east, vacant land to the south and Loop1512/I369 to the west.

The Future Land Use Map has designated this property as "Industrial".

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and the Comprehensive Plan.

The applicant should also be aware that if this zoning change is approved, all other applicable city code/ordinance requirements must be met including but not limited to new drainage ordinance, stormwater design manual, building codes, setbacks,

City of Texarkana, Texas

subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for denial of this request as it conflicts with the Future Land Use Map and the Comprehensive Plan.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 1, 2023

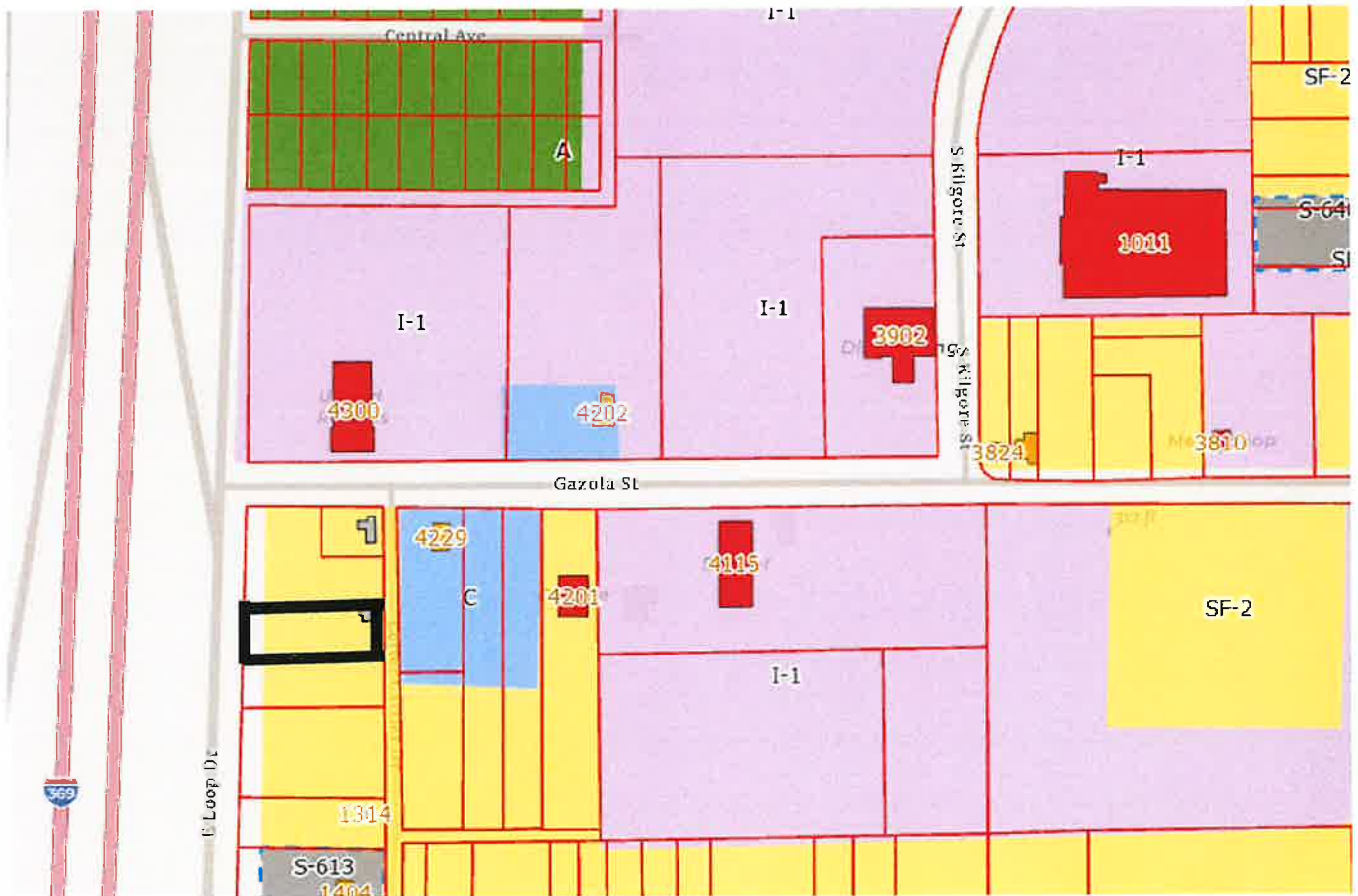
NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, May 1, 2023 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, July 10, 2023 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: Inez Dixon, owner and Charles Griffin Jr., agent

OWNER'S ADDRESS: 3702 Elizabeth Street, Texarkana, Texas 75501

LOCATION OF REZONING: 1312 Letter Carrier Drive, Texarkana, Texas 75501

PROPOSED CHANGE: Recreational Vehicle (RV) park

ZONING CHANGE FROM: Single Family-2 TO: Agriculture

LEGAL DESCRIPTION: Lot 22, Block 6, H.S. Janes HRS, A-306

CASE NUMBER: Z-23-13

DATE MAILED: April 20, 2023



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 23-001071 Case Z-23-13 Date 4-4-23

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property:

Lot: 22 Block: Le Addition: HS James HRS A-306
(Or see attached legal description)

Location: 1312 Letter Carrier Drive

Present Zoning: SF-2

Proposed Zoning: Agriculture

If the Zoning Classification is changed by the Commission, this property will be used as:

Rv Park

Describe the changed conditions occurring since the original zoning which affect your property and justify rezoning:

Attorney or Agent Signature

Charles Griffin, Jr.

Print Name

78 Geneva St.

Address

Texarkana Tx 75501

City, State, Zip

903 276 6213

Home Phone & Cell Phone

Cgriffin20052005@yahoo.com

Email Address

Property Owner Signature

Inez Dixon

Print Name

3702 Elizabeth St.

Address

Texarkana Tx 75501

City, State, Zip

903 701 2923

Home Phone & Cell Phone

Inezdixon1953@gmail.com

Email Address

**BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN
ON YOUR PROPERTY**

Attachment: Hearing Notice and Application (4006 : Z-23-13: rezoning from SF-2 to Agriculture at 1312 Letter Carrier Dr.)

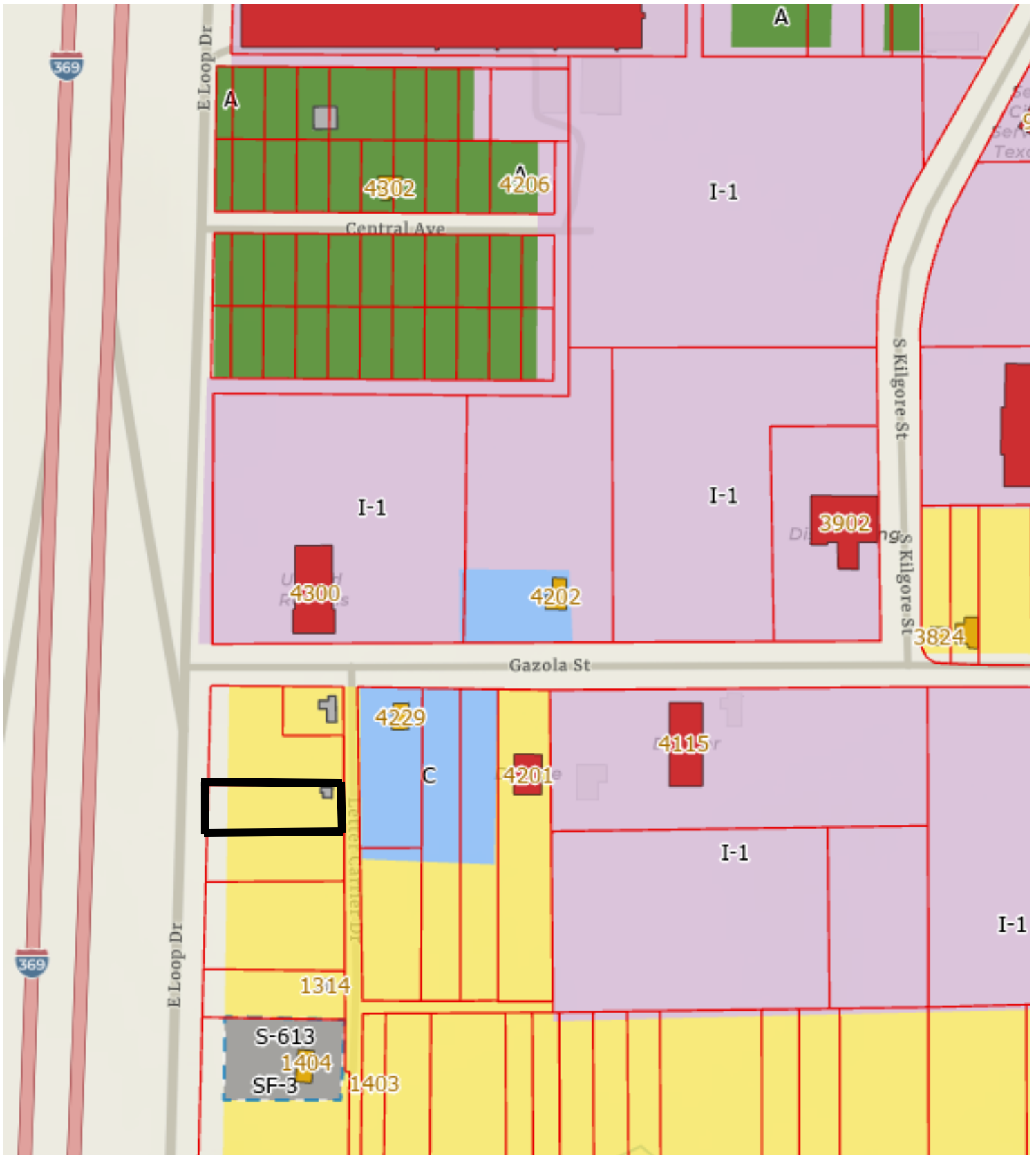
Z-23-13

Legal Descriptions

1. The East Half (E-1/2) of Lot Numbered Twenty (20) and all of Lot Numbered Twenty-two (22) in a Subdivision of Block Numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
2. The south 100 feet of the west one-half (1/2) of Lot Numbered Twenty-Two (22) in a subdivision of Block Numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
3. All of Lot Numbered Twenty-one (21) of a subdivision of Block Numbered Six (6) of H. S. JAMES H. R. SURVEY, Bowie County, Texas.
4. The East 150 feet of Lot numbered Twenty-two (22) in a Subdivision of Block numbered Six (6) of the H. S. JAMES HEADRIGHT SURVEY in Bowie County, Texas.
5. Lots Numbered Eight and Nine (8&9) in Block numbered Eighteen (18) OF CITY IMPROVEMENT COMPANY'S WEST SIDE ADDITION to The City of Texarkana, Bowie County, Texas, according to the map or Plat recorded in Volume 14, Page 62 of the Deed Records of Bowie County, Texas, SAVE AND EXCEPT the Northeast One-Quarter (NE 1/4) of Numbered 8 in Block Numbered 18 of said Addition.

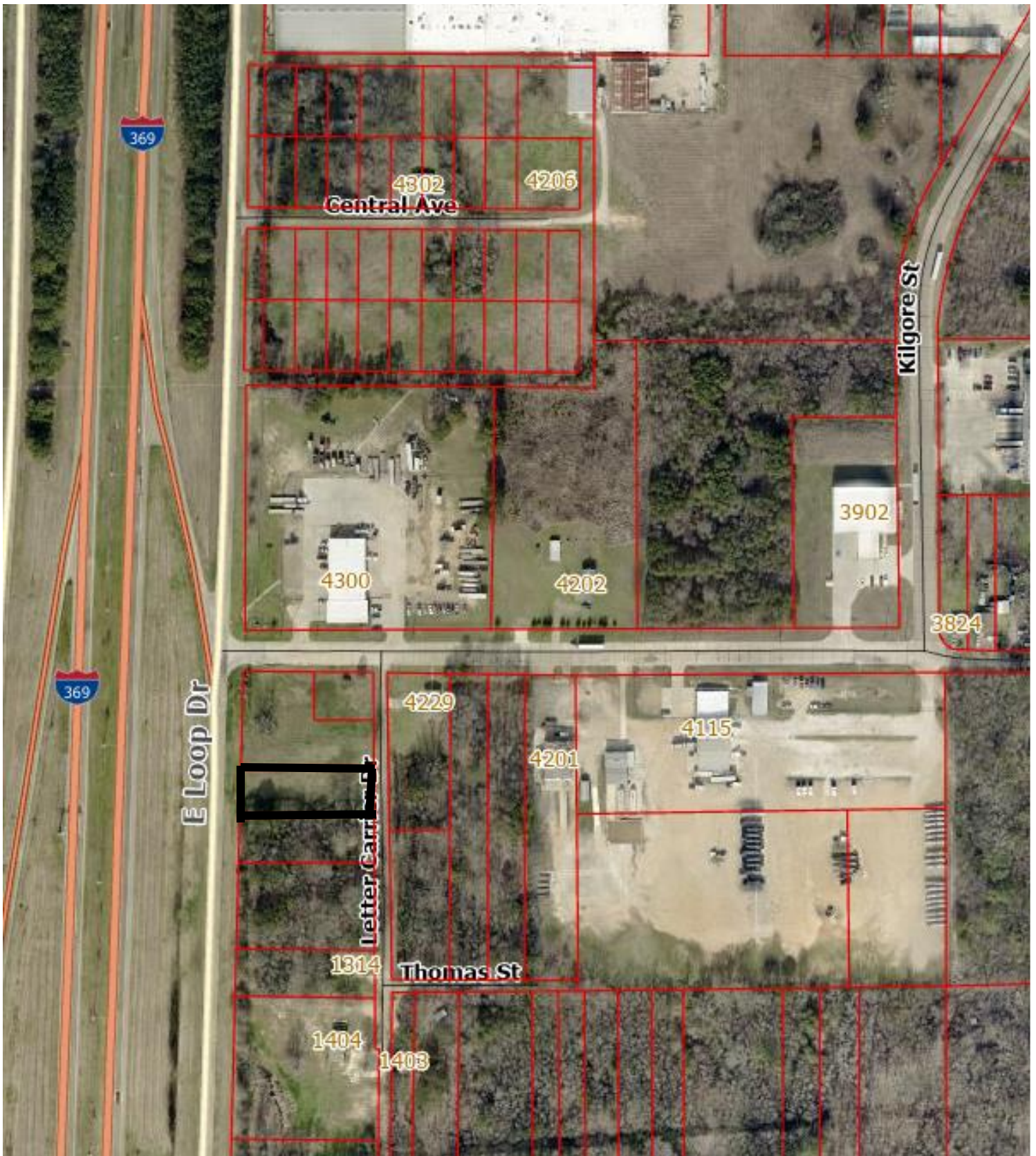
Attachment: Legal Description (4006 : Z-23-13: rezoning from SF-2 to Agriculture at 1312 Letter Carrier Dr.)

1312 Letter Carrier Rd



Attachment: Maps (4006 : Z-23-13: rezoning from SF-2 to Agriculture at 1312 Letter Carrier Dr.)

1312 Letter Carrier Rd



Attachment: Maps (4006 : Z-23-13: rezoning from SF-2 to Agriculture at 1312 Letter Carrier Dr.)

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/27/2023 10:31 AM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Zoning Administrator

Subject: Consider approval of the April 3, 2023 Planning and Zoning Commission meeting minutes.

Meeting Date: 5/1/2023

Attachments

- a. April 3, 2023 P&Z minutes (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Department Head Review
Pending		
Planning & Zoning Commission		Department Review
Pending		
Planning & Zoning Commission	Laura Puckett	Meeting Pending
05/01/2023 6:00 PM		

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

See attached minutes.

Potential Options:

Approve or Deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends approval of the April 3, 2023 Planning and Zoning Commission meeting minutes.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

City of Texarkana, Texas**Advisory Board/Committee Meeting Date and Minutes:**

May 1, 2023



CITY OF TEXARKANA
PLANNING & ZONING COMMISSION
MINUTES • APRIL 3, 2023

Council Chambers

Regular Meeting

6:00 PM

220 TEXAS BLVD.
TEXARKANA, TX 75501

I. CALL TO ORDER

II. AGENDA ITEMS

1. Consider approval the final and preliminary plat for the Summer Ridge 2nd Addition, located at the intersection of Mall Drive and Summer Ridge Drive. Green Meadow Capital, LLC, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

Kayla Wood appeared and stated that this property is on the frontage road for a restaurant and they will be splitting the parcel into two parcels .

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Casey Boyette, Commissioner
SECONDER:	Dianna Patterson Kinsey, Vice Chairperson
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

2. Consider approval of the final of preliminary plat for the McKnight Crossing Third Addition, located at McKnight Crossing. State Bank of DeKalb, owner, and Jeffrey wood, MTG Engineers and Surveyors, agent.

Kayla Wood appeared and stated that this area is next to State Bank on Richmond and they will be adding another building, so the property owner needs to split the parcel.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Dianna Patterson Kinsey, Vice Chairperson
SECONDER:	Casey Boyette, Commissioner
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

3. Consider approval of the Replat of Lot 1D, Block 2, Waggoner Creek Crossing Two, located at University Avenue and West Park Boulevard. Waggoner Creek Crossing LP, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

Attachment: April 3, 2023 P&Z minutes (4007 : Consider approval of the April 3, 2023 P&Z meeting minutes)

Kayla Wood appeared and stated that this plat was approved previously and went past the deadline so they have to bring it again to meet the 120 day deadline.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Tom Coleman, Commissioner
SECONDER:	Dianna Patterson Kinsey, Vice Chairperson
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

4. Consider Amending Zoning Ordinance Section 140-247 Signs with 100 feet of interstate or loop corridor.

Mashell Daniel advised the Commission that Section 140-247 Signs within 100 feet of an interstate loop corridor has changed to "Any on-premises sign (for a business) erected within 100 feet of the frontage/service road of the interstate or loop corridor right-of-way will be allowed to have a signed height of 50 feet.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Tom Coleman, Commissioner
SECONDER:	Casey Boyette, Commissioner
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

5. Z-23-7: rezoning an approximate 9.37-acre tract of land (being Tract 173, 173A, 174, and 175), H.S. Janes HRS, A-306, located at 3811 S. Lake Dr. Single Family-2 to Commercial. Michael Petty, owner and Kyle Davis, attorney.

Mark Elliott with Langdon/Davis on behalf of Michael Petty appeared and stated that the property is surrounded by commercial properties and the intended use is a truck and trailer parts dealer and services, so the zoning needs to conform.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Casey Boyette, Commissioner
SECONDER:	James Larkins, Commissioner
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

6. Z-23-9: rezoning on an approximate 1.24-acre tract of land (being the North Part of Tract 9 and 10), Flower Acres, located at 3327 S. Lake Dr. General Retail to Commercial. Phil Hadaway, owner.

Phil Hadaway appeared and stated that he purchased the building and needs to commercial zoning to run his business, auto body repair.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Dianna Patterson Kinsey, Vice Chairperson
SECONDER:	Tom Coleman, Commissioner
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

7. Z-23-10: rezoning on an approximate 0.71-acre tract of land (being South 150' of Tract 9 and 10), Flower Acres, located at 2107 Flower Acres Rd. General Retail to Commercial. Phil Hadaway, owner.

Phil Hadaway appeared and stated that he purchased the home and it was zoned general retail and needs to commercial zoning to expand his business on S. Lake Drive which is the property just north of this parcel.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Dianna Patterson Kinsey, Vice Chairperson
SECONDER:	Tom Coleman, Commissioner
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

8. S-774: Specific Use Permit to allow permanent cosmetics (facial tattooing) on an approximate 5.65-acre tract of land (being Tract 388 and 388A), George Brinlee HRS, A-18, located at 4115 N. Kings Hwy, Suite 109. Carter Floyd, owner, and Tammy Wroten, agent.

Tammy Wroten appeared and stated that she would be doing permanent cosmetics at this location moving from another location where she was recently approved to do permanent cosmetics.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Tom Coleman, Commissioner
SECONDER:	Dianna Patterson Kinsey, Vice Chairperson
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

9. Z-23-8: rezoning on an approximate 3.36-acre tract of land (being Tract 4D), West Texarkana GDN, located at 700 Elliott Road. Single Family-2 to Single Family-3. Katherine McGee, owner and Austin Edwards, agent.

Austin Edward appeared and stated that he wants to rezone a portion of the property to place a Hobbs manufactured home.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Brad Bailey, Commissioner
SECONDER:	James Larkins, Commissioner
AYES:	Kinsey, Coleman, Larkins, Boyette, Bailey, Sarine
ABSENT:	Northam, Kernek
EXCUSED:	Joyce III

10. S-775: Specific Use Permit allowing the location of a double wide HUD code manufactured home on an approximate 3.36-acre tract of land (being Tract 4D), West Texarkana GDN, located at 700 Elliott Road. Katherine McGee, owner, and Austin Edwards, agent.

Austin Edward appeared and stated that he wants to rezone a portion of the property to place a Hobbs manufactured home.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Casey Boyette, Commissioner
SECONDER:	Tom Coleman, Commissioner
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

11. Z-23-6: rezoning (TABLED) Lot 2, Martha S Pace Subdivision an approximate 1.499-acre tract of land, located in the 3400 block of Galleria Oaks Drive. Single Family-1 to Two Family-1. Joel S. Pace, Trustee Martha Pace Trust, owner, and Brian Henry, agent.

RESULT:	TABLED [UNANIMOUS]	Next: 5/1/2023 6:00 PM
MOVER:	Dianna Patterson Kinsey, Vice Chairperson	
SECONDER:	Tom Coleman, Commissioner	
AYES:	Kinsey, Coleman, Larkins, Boyette, Sarine	
ABSENT:	Northam, Bailey, Kernek	
EXCUSED:	Joyce III	

12. S-772: (TABLED) Specific Use Permit to allow the location of a cellular tower on an approximate 7.13-acre tract of land (being Tract 44A), J M Goffe, HRS, A-244, located at 2718 Moores Lane. Patrick Cannon, Representing Walnut Church of Christ, owner, and Wayne Barnett, agent.

This application matter was untabled and heard.

Wayne Barnett appeared and stated that the cell tower could be moved 100 feet further from the homes and that access would be moved to the Church's parking lot. Therefore, trees at the end of Sandlin lane will not be taken down. The tower is needed to address coverage concerns. Mr. Barnett said that drainage would be address at that time they apply for permits.

Daniel Allbritton appeared and stated that the site is chosen by looking at the capacity, quality and coverage. The tower needs to go within a 1/4 or 1/2 mile within the search radius. The area towers are maxed out and the cell phone companies share towers. He stated that towers outside the city limits are taller but have more usage. He talked about losing the monopole during the Little Rock tornado and the service for first responders were slower due to losing that tower. Mr. Allbritton said that if he moves the tower it will have to be moved east.

Teresa Lipman owns Better Homes Realty and lives at 2801 Landon Lane and moved from Briarwood Circle which has a cell tower. She said the appraisal is going to be lower next to a cell tower. She said that she did not get a letter from the city. She said a minimum decrease in property values would be from 2% to 9% in the value of the home. She said there is not any health research, but that is what they said about sweeteners.

Jerry Duvall believes the tower will lower values of homes near a cell tower and towers can cause cancer. He doesn't care to look out his kitchen window and see a cell tower. He wants to know where the cell tower is going on the property.

Mike Wilson 2903 Northview says that health experts are saying towers are hazardous. He said that you don't want to bet your life on a health debate about towers being safe or not. He does not want to live under a cell tower. He is not opposed to the church itself. He went on to saying the esthetics of the tower will decrease values of surrounding properties by 2% up to 20%. He said his council person said that he didn't think towers have an effect of property values. He also said that wildlife can be effected.

Eric Sawyer who just moved in the area in August and said he is concerned by the visual aspect. Wants to know what a compound means.

Greg Forand lives at 2903 Landon and he says that he has a swimming pool in his back yard that he worked very hard for and doesn't want to be floating around and see a tower. He says that he understands the church will benefit. He spoke with Patrick Cannon and asked if the church could move the tower to the front of the property. He is against the tower being in the area. He asked the Commission to deny the Specific Use Permit. He said that he would be agreeable to talking with them about moving the tower towards Moores Lane. He ask that the requirement to notice the residents outside 200' area be a much larger area.

Justin Snow is a property owner in the area and is opposed to the tower because of health, property values, esthetics, and water topography/drainage.

Nedra Frady is a member of Walnut Church of Christ wants to know what the Church's profit will be. She said the elders in the church make the decisions and she respects them, but she does not want the tower in the area. She said that she had no idea that there was a cellular tower was going on the property.

Judith Davis wants to know what the "trigger" for AT&T means? What was their trigger? She told the tower folks to move the tower behind St. Michael's Imaging Center in their swamp, because they can't use it anyway.

Daniel Allbritton responded to Nedra Frady's trigger question with saying the trigger is the funding numbers for him. Compound means leasing a 75'by75' fenced area the tower sits on.

Richard Guinn lives at 5802 Kevin he says that behind his house is standing water and it has frogs and ducks in the forest. He wants to know if the radiation will effect those animals.

Sandy Crater lives at 2915 wants to know if the tower is going to be the big four legged type. She wants the tower moved away. She also want to know how long is it going to take to build it. She said she doesn't want the tower in the area.

Tom Coleman stated that he lives in the most restrictive district in the city - the Historic District. He said that you cannot even paint your house without approval. He said that a cell tower was just approved in that area and he doesn't even notice it.

Gene Joyce, III asked the room if anyone still had land lines. He goes on to say that everyone heavily relies on their cell phones for whatever reason. He said that another issue is when you look at this map there is not a real rhyme or reason to where cell towers go. He said at some point the city will have to address where the cell towers are located. He goes on to say that there is a lot of conflict and concern about this cell phone tower and its location.

Mr. Joyce advises and invites the cell tower folks to the cell tower work shop he will be requesting in the future.

RESULT:	DENIED [0 TO 5]
MOVER:	Tom Coleman, Commissioner
SECONDER:	Casey Boyette, Commissioner
NAYS:	Kinsey, Coleman, Larkins, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III

III. STAFF UPDATES

Mashell gave the Commission updates on the Comprehensive plan.

IV. CONSIDER APPROVAL OF MINUTES

1. Consider approval of the minutes from the Planning and Zoning Commission March 6, 2023 meeting.

RESULT:	ADOPTED [4 TO 0]
MOVER:	Dianna Patterson Kinsey, Vice Chairperson
SECONDER:	Tom Coleman, Commissioner
AYES:	Kinsey, Coleman, Boyette, Sarine
ABSENT:	Northam, Bailey, Kernek
EXCUSED:	Joyce III
RECUSED:	Larkins

V. ADJOURNMENT

VI. P&Z AGENDA ITEMS