



CITY OF TEXARKANA
PLANNING & ZONING COMMISSION
AGENDA • MAY 2, 2022

City Hall

Regular Meeting

6:00 PM

220 TEXAS BLVD
 TEXARKANA, TX 75501

Chairperson

Gene Joyce III

Commissioner

James Larkins

Commissioner

George Merrill

Vice Chairperson

Dianna Patterson Kinsey

Commissioner

Wanda Northam

Alternate Commissioner

Mitch Alexander

Commissioner

Tom Coleman

Commissioner

Casey Boyette

Alternate Commissioner

Brad Bailey

I. CALL TO ORDER**II. AGENDA ITEMS**

1. Amendment to PD-32 (Office) for site plan approval on a 0.1469-acre tract of land on the west portion of a 0.9-acre tract of land, Lot 5, Wellsford Subdivision, located at 3118 Norton Street. David Boudreaux, owner and Joe Gordy, agent.
2. S-752: Specific Use Permit to allow the location of a telecommunications tower on a 0.1469-acre tract of land on the west portion of a 0.9-acre tract of land, Lot 5, Wellsford Subdivision, located at 3118 Norton Street. David Boudreaux, owner, and Joe Gordy, agent.
3. Amendment to PD-02-13 (General Retail) for site plan approval on Lots 7, and 8, Block 5, Richmond Subdivision 4th, located on two lots north 4414 Galleria Oaks Drive. Jennifer Carrillo, owner, and Kayla Wood, MTG Engineers and Surveyors, agent.

4. Amendment to PD-86-3 (General Retail) for site plan approval on Lot 1 Richmond-Kwik Addition, located at 2903 Richmond Road. Paige Hobbs with American Goods, LLC, owners, and Greg Ryden, Ryden Architecture, agent.

III. STAFF UPDATES

IV. CONSIDER APPROVAL OF MINUTES

1. Consider approval of the Planning and Zoning Commission meeting minutes from April 4, 2022.

V. ADJOURNMENT

This open meeting of a governmental entity is subject to the Texas Open Meetings Act (Chapter 551, Government Code). The "Council Chambers" is the room or property where the Planning and Zoning Commission holds this meeting.

Pursuant to Section 46.035(c), Penal Code (unlawful carrying of handgun by license holder), a license holder commits an offense if the license holder intentionally, knowingly, or recklessly carries a handgun under the authority of Subchapter H, Chapter 411, Government Code, regardless of whether the handgun is concealed or carried in a shoulder or belt holster, in the room or rooms where a meeting of a governmental entity is held and if the meeting is an open meeting subject to Chapter 551, Government Code, and the entity provided notice as required by that chapter.

Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun.

Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.

This meeting is being conducted in accordance with the Americans with Disabilities Act [42 USC 12101 (1991)]. The facility is wheelchair accessible and handicap parking is available. Requests for sign interpretive services are available upon requests received at least 48 hours prior to the meeting. To make arrangements for these services, please call 903.798.3917, Personnel or (TDD) 1.800.RELAY.TX (1.800.735.2989).

City of Texarkana, Texas

Version:

Update Date: 4/28/2022 2:00 PM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator
Subject: Amendment to PD-32 (Office) for site plan approval on a 0.1469-acre tract of land on the west portion of a 0.9-acre tract of land, Lot 5, Wellsford Subdivision, located at 3118 Norton Street. David Boudreaux, owner and Joe Gordy, agent.

Meeting Date: 5/2/2022

Attachments

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Maps (PDF)
- d. Site Plan (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Pending
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
05/02/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request for an Amendment to PD-31 (Office) by David Boudreaux, representing D&TB Properties, LLC, owners and Joe Gordy, agent, requesting a site plan approval on a 0.1469-acre tract of land on the west portion of a 0.9-acre tract of land (being Lot 5), Wellsford Subdivision, located at 3118 Norton Street. This property is currently vacant land.

The adjacent zoning is General Retail to the north, Single Family-2 to the south, east, and west. The adjacent land use is parking to the north and vacant land south, east, and west.

The Future Land Use Map has designated this property as "Neighborhood Residential"

The site plan consists of:

City of Texarkana, Texas

1. Construction of a new 200' ft. self-support, telecommunications tower within an 80'x80'ft. area of the larger parcel.
2. Access will be from Norton Street.
3. Parking area for one service vehicle.
4. No signage.
5. Fencing around the telecommunications compound lease area.
6. Driveway shall be all weather surface (concrete or asphalt).

See attached Texarkana Water Utility comments.

Towers are allowed in all but one zoning district. In the other zoning districts a cell tower is either a use by right or requires a Specific Use Permit. Therefore, staff recommends for approval of the site plan.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of this request.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 2, 2022

NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, MAY 2, 2022 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, JULY 11, 2022 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: David Boudreaux, representing D&TB Properties, LLC, owners, and Joe Gordy, agent

OWNER'S ADDRESS: 1550 Moores Lane, Texarkana, Texas 75503

LOCATION OF REZONING: 3118 Norton Street, Texarkana, Texas 75501

PROPOSED CHANGE: Amendment to PD-32(O) for site plan approval for the construction of telecommunications tower

LEGAL DESCRIPTION: A 0.1469-acre lease area located on the west portion of a 0.9-acre tract of land (Being Lot 5), Wellsford Subdivision

CASE NUMBER: Amendment-PD-32(O) DATE MAILED: April 20, 2022



SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945

www.ci.texarkana.tx.us.org

Receipt No. 22-00746 Case Amendment to PD-32 (0) Date 3/30/22

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property:

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: Five (5) Block: _____ Addition: Wellsford Subdivision
(Or see attached metes and bounds legal description)

Project location/address: 3118 Norton St.

Present zoning: Planned Development (PD) Proposed zoning (if applicable) General Retail (GR)

Proposed use: 200' Self-Support Telecommunications Tower

Total square footage of proposed building: Lease Area-80x80 Number of parking spaces 1

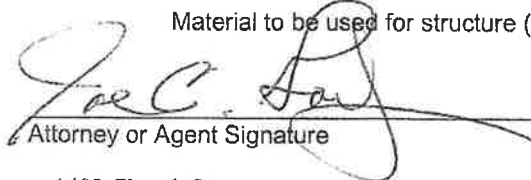
Number of required parking spaces per Ordinance NA Handicapped spaces NA

Material of building façade NA

SIGNAGE: Type (i.e. monument, pole) NA

Size _____

Material to be used for structure (if monument style) _____


Attorney or Agent Signature

1402 Church St.

Address

Columbia, MS 39429

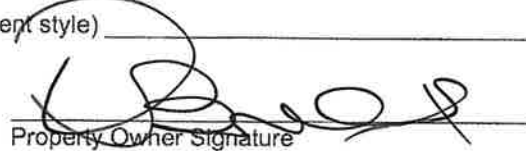
City, State, Zip

601-270-7767

Home Phone & Cell Phone

jocgordy@att.net

Email Address


Property Owner Signature

1550 Moores Lane

Address

Texarkana, TX 75503

City, State, Zip

903-792-7435 903-824-8497

Home Phone & Cell Phone

Dboudreaux@redriverRx.com

Email Address

**BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN
ON YOUR PROPERTY**

Attachment: Hearing Notice and Application (3685 : Amendment to PD-32 site plan approval 3118 Norton)

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE WILLIAM M. WOOTE SURVEY, ABSTRACT NO. 652, CITY OF TEXARKANA, BOWIE COUNTY, TEXAS, BEING A PORTION OF THE LANDS OF D&TB PROPERTIES, LLC, AS RECORDED IN DOCUMENT NO. 2019-00007271, BOWIE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A ½-INCH REBAR FOUND ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTON STREET, SAID REBAR MARKING THE NORTHWEST CORNER OF LOT 5 OF WELLSFORD SUBDIVISION, AN ADDITION TO THE CITY OF TEXARKANA, BOWIE COUNTY, TEXAS, ACCORDING TO THE PLAT OF RECORD IN VOLUME 28, PAGE 498, BOWIE COUNTY RECORDS, SAID REBAR HAVING A TEXAS GRID NORTH, NAD83, NORTH CENTRAL ZONE VALUE OF N=7238244.6858, E=3322368.6685; THENCE ALONG SAID THE EASTERLY RIGHT-OF-WAY LINE OF NORTON STREET, SOUTH 01°38'39" EAST, 46.60 FEET TO A POINT; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE OF NORTON STREET AND RUNNING, SOUTH 89°00'25" EAST, 60.57 TO A POINT ON THE WEST LINE OF THE LEASE AREA; THENCE ALONG SAID LEASE AREA, NORTH 02°13'37" WEST, 40.00 FEET TO A POINT HAVING A TEXAS GRID NORTH, NAD83, NORTH CENTRAL ZONE VALUE OF N=7238237.0248, E=3322429.0117 AND THE TRUE POINT OF BEGINNING;

THENCE RUNNING, NORTH 87°46'23" EAST, 80.00 FEET TO A POINT;

THENCE, SOUTH 02°13'37" EAST, 80.00 FEET TO A POINT;

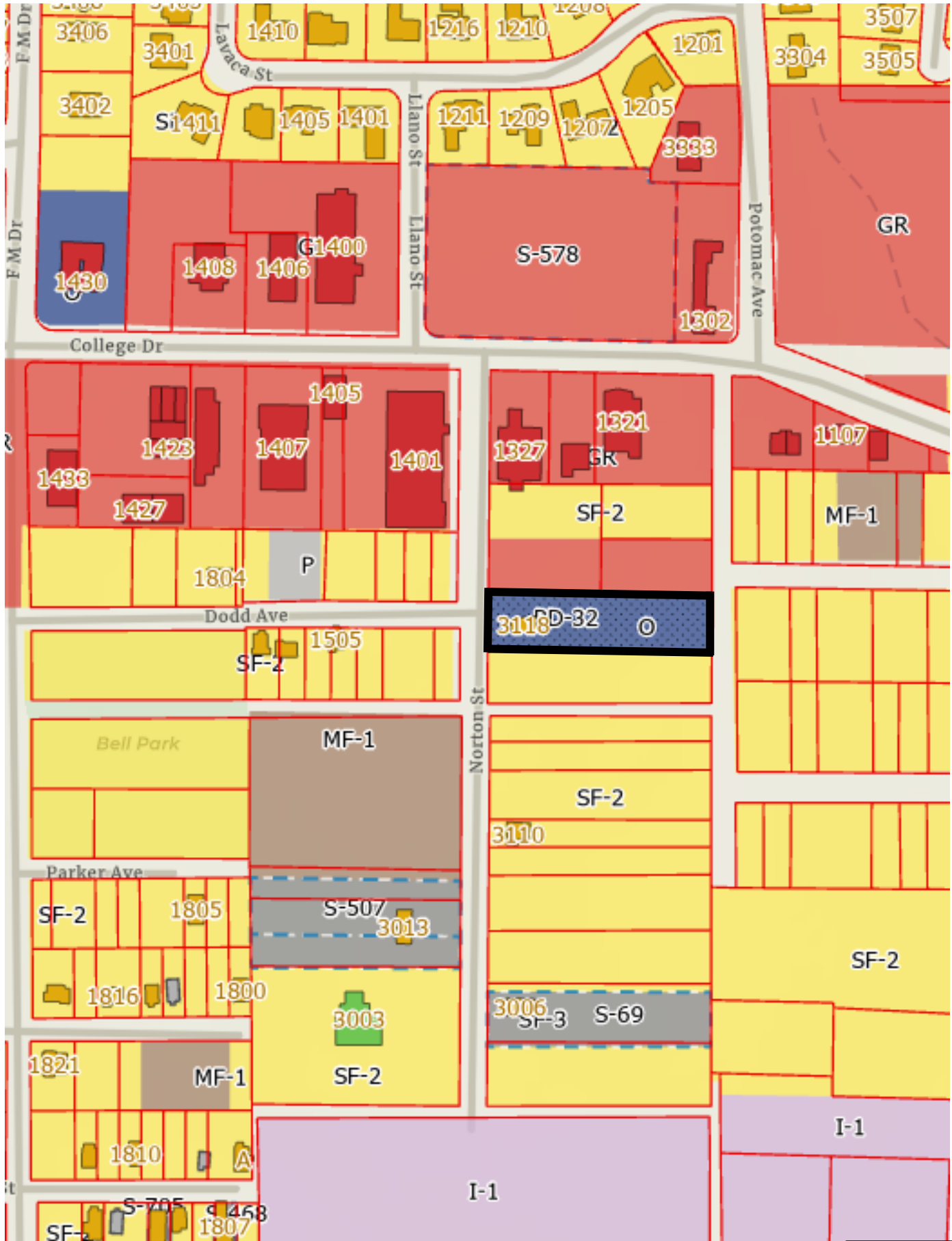
THENCE, SOUTH 87°46'23" WEST, 80.00 FEET TO A POINT;

THENCE, NORTH 02°13'37" WEST, 80.00 FEET TO A POINT AND THE POINT OF BEGINNING

BEARINGS BASED ON TEXAS GRID NORTH, NAD83, NORTH CENTRAL ZONE

SAID TRACT CONTAINS 0.1469 ACRES (6,400 SQUARE FEET), MORE OR LESS.

3118 Norton Street

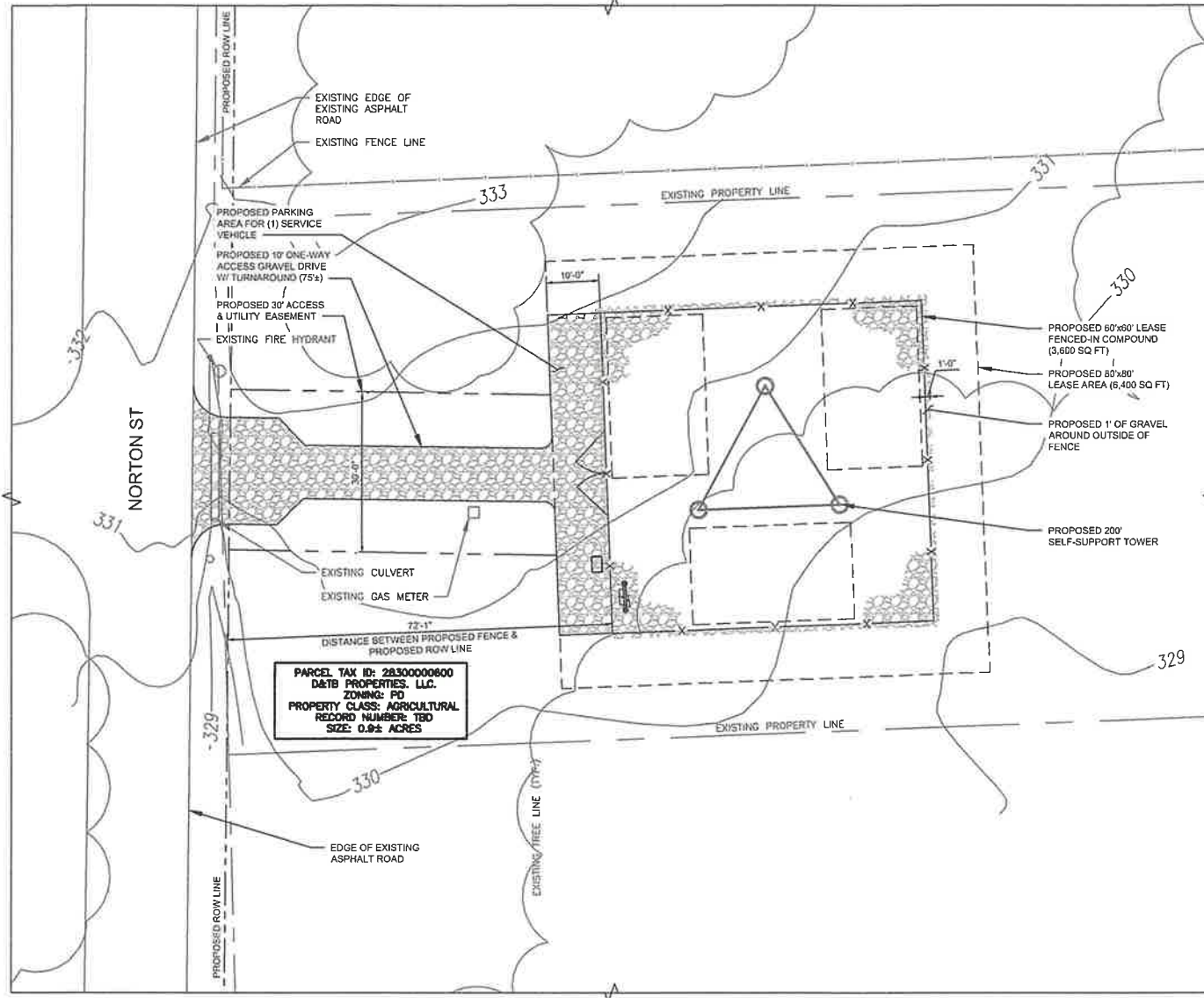


Attachment: Maps (3685 : Amendment to PD-32 site plan approval 3118 Norton)

3118 Norton Street



Attachment: Maps (3685 : Amendment to PD-32 site plan approval 3118 Norton)



PARCEL TAX ID: 28300000600
D&B PROPERTIES, L.L.C.
ZONING: PD
PROPERTY CLASS: AGRICULTURAL
RECORD NUMBER: 180
SIZE: 0.9± ACRES



Know what's below.
Call before you dig.



SITE PLAN

SCALE: 1"=20'-0" (11x17)
(OR) 1"=30'-0" (22x34)

ENGINEER	 TRILEAF architecture engineering 1515 DES PERES ROAD, STE 300 SAINT LOUIS, MISSOURI 63101 PHONE (314) 997-8111 FAX (314) 997-8068		
APPLICANT	 Apex Tower 548 EAST RIVERSIDE DRIVE, SUITE D. NORTH TAZEWELL, VA 24050 (276) 905-1616		
SITE INFORMATION	APEX SITE NAME: TEXARKANA APEX SITE ID: 676820 TRILEAF PROJECT #: 691389 3118 NORTON ST., TEXARKANA, TX 75503 BOWIE COUNTY		
DESIGN RECORD			
	A	03/17/22	PRELIMINARY
	REV.	DATE	DESCRIPTION
PROFESSIONAL STAMP			
ENGINEER	ROGER ZIMMER, P.E. TX PROFESSIONAL ENGINEER LIC. #122570		
SHEET TITLE	SITE PLAN		
SHEET NUMBER	Z-2		

Attachment: Site Plan (3685 : Amendment to PD-32 site plan approval 3118 Norton)



Know what's below.
Call before you dig.



AERIAL PLAN

ENGINEER	 TRILEAFTM architecture engineering 1018 DES PERES ROAD, STE 200 ST LOUIS, MISSOURI 63131 PHONE 314-997-6111 FAX 314-997-9006																																																																																		
APPLICANT	 Apex Tower 549 EAST RIVERSIDE DRIVE, SUITE D, NORTH TAZEWELL, VA 24630 (270) 963-1818																																																																																		
SITE INFORMATION	APEX SITE NAME: TEXARKANA APEX SITE ID: 676820 TRILEAF PROJECT #: 691389 3118 NORTON ST., TEXARKANA, TX 75503 BOWIE COUNTY																																																																																		
DESIGN RECORD	<table><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>A</td><td>03/17/22</td><td colspan="8">PRELIMINARY</td></tr><tr><td>REV.</td><td>DATE</td><td colspan="8">DESCRIPTION</td></tr></table>																																																															A	03/17/22	PRELIMINARY								REV.	DATE	DESCRIPTION							
A	03/17/22	PRELIMINARY																																																																																	
REV.	DATE	DESCRIPTION																																																																																	
PROFESSIONAL STAMP																																																																																			
ENGINEER	ROGER ZIMMER, P.E. TX PROFESSIONAL ENGINE LIC.#122570																																																																																		
SHEET TITLE	AERIAL PLAN																																																																																		
SHEET NUMBER	Z-3																																																																																		

Attachment: Site Plan (3685 : Amendment to PD-32 site plan approval 3118 Norton)

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/28/2022 2:04 PM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator
Subject: S-752: Specific Use Permit to allow the location of a telecommunications tower on a 0.1469-acre tract of land on the west portion of a 0.9-acre tract of land, Lot 5, Wellsford Subdivision, located at 3118 Norton Street. David Boudreaux, owner, and Joe Gordy, agent.

Meeting Date: 5/2/2022

Attachments

- a. Hearing Notice and Application (PDF)
- b. Legal Description (PDF)
- c. Maps (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Pending
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
05/02/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request by David Boudreaux, representing D&TB Properties, LLC, owners and Joe Gordy, agent, for Specific Use Permit to allow the location a self-support 200' telecommunications tower on a 0.1469-acre tract of land on the west portion of a 0.9-acre tract of land (being Lot 5), Wellsford Subdivision, located at 3118 Norton Street. This property is currently vacant land.

The adjacent zoning is General Retail to the north, Single Family-2 to the south, east, and west. The adjacent land use is parking to the north and vacant land to the south, east, and west.

The Future Land Use Map has designated this property as "Neighborhood Residential"

The tower will be a 200' ft. self-support, telecommunications tower within an 80'x80'ft. area of the larger parcel. Access will be from Norton Street and one parking area for a

City of Texarkana, Texas

service vehicle. Towers are allowed in the current zoning district but requires a Specific Use Permit. Therefore, staff recommends for approval of this request.

The applicant should also be aware that if this permit is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff Recommends for approval of this request.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 2, 2022

NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: TUESDAY, APRIL 4, 2022 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, MAY 9, 2022 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: David Boudreaux, representing D&TB Properties, LLC, owners and Joe Gordy, agent

OWNER'S ADDRESS: 1550 Moores Lane, Texarkana, Texas 75503

LOCATION OF REZONING: 3118 Norton Street, Texarkana, Texas 75501

PROPOSED CHANGE: Specific Use Permit to allow the location of a telecommunications tower

LEGAL DESCRIPTION: A 0.1469-acre lease area located on the west portion of a 0.9-acre tract of land (Being Lot 5), Wellsford Subdivision

CASE NUMBER: S-752

DATE MAILED: April 20, 2022



ZONING APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 22-00746 Case S-752 Date 3/30/22

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application to amend the Zoning Map of the City of Texarkana, Texas for the following described property.

Lot: Five (5) Block: _____ Addition: Wellsford Subdivision
(Or see attached legal description)

Location: 3118 Norton St.

Present Zoning: PD (Planned Development)

Requested: Specific Use Permit

The requested Specific Use Permit will be used for the following: _____
Construct a 200' Self-Support Telecommunications Tower

Describe the changed conditions, if any, that have occurred which affects your property and justifies this Specific Use Permit:

Property is one of several parcels that owner has in the area. Prior to the acquisition
by current owner in 2019, parcel had a house that was in disrepair and a blight to the
area. The house has been removed and lot cleared of all debris. The location of the lot is
ideal for a telecommunications tower and if approved, tower would enhance coverage in the area.

[Signature]
Attorney or Agent Signature

[Signature]
Property Owner Signature

1402 Church St.
Address

Columbia, MS 39429
City, State, Zip

601-270-7767
Home Phone & Cell Phone

joegordy@att.net
Email address

1550 Moores Lane
Address

Texarkana, TX 75503
City, State, Zip

903-792-7435 Cell: 903-824-8497
Home Phone & Cell Phone

Dbourdreaux@redriverRx.com
Email address

**BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE
A SIGN ON YOUR PROPERTY.**

Attachment: Hearing Notice and Application (3686 : S-752: SUP cell tower location 3118 Norton)

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE WILLIAM M. WOOTE SURVEY, ABSTRACT NO. 652, CITY OF TEXARKANA, BOWIE COUNTY, TEXAS, BEING A PORTION OF THE LANDS OF D&TB PROPERTIES, LLC, AS RECORDED IN DOCUMENT NO. 2019-00007271, BOWIE COUNTY RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TO FIND THE POINT OF BEGINNING, COMMENCE AT A ½-INCH REBAR FOUND ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTON STREET, SAID REBAR MARKING THE NORTHWEST CORNER OF LOT 5 OF WELLSFORD SUBDIVISION, AN ADDITION TO THE CITY OF TEXARKANA, BOWIE COUNTY, TEXAS, ACCORDING TO THE PLAT OF RECORD IN VOLUME 28, PAGE 498, BOWIE COUNTY RECORDS, SAID REBAR HAVING A TEXAS GRID NORTH, NAD83, NORTH CENTRAL ZONE VALUE OF N=7238244.6858, E=3322368.6685; THENCE ALONG SAID THE EASTERLY RIGHT-OF-WAY LINE OF NORTON STREET, SOUTH 01°38'39" EAST, 46.60 FEET TO A POINT; THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE OF NORTON STREET AND RUNNING, SOUTH 89°00'25" EAST, 60.57 TO A POINT ON THE WEST LINE OF THE LEASE AREA; THENCE ALONG SAID LEASE AREA, NORTH 02°13'37" WEST, 40.00 FEET TO A POINT HAVING A TEXAS GRID NORTH, NAD83, NORTH CENTRAL ZONE VALUE OF N=7238237.0248, E=3322429.0117 AND THE TRUE POINT OF BEGINNING;

THENCE RUNNING, NORTH 87°46'23" EAST, 80.00 FEET TO A POINT;

THENCE, SOUTH 02°13'37" EAST, 80.00 FEET TO A POINT;

THENCE, SOUTH 87°46'23" WEST, 80.00 FEET TO A POINT;

THENCE, NORTH 02°13'37" WEST, 80.00 FEET TO A POINT AND THE POINT OF BEGINNING

BEARINGS BASED ON TEXAS GRID NORTH, NAD83, NORTH CENTRAL ZONE

SAID TRACT CONTAINS 0.1469 ACRES (6,400 SQUARE FEET), MORE OR LESS.

3118 Norton Street



Attachment: Maps (3686 : S-752: SUP cell tower location 3118 Norton)

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/28/2022 2:06 PM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator

Subject: Amendment to PD-02-13 (General Retail) for site plan approval on Lots 7, and 8, Block 5, Richmond Subdivision 4th, located on two lots north 4414 Galleria Oaks Drive. Jennifer Carrillo, owner, and Kayla Wood, MTG Engineers and Surveyors, agent.

Meeting Date: 5/2/2022

Attachments

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)
- c. Site Plan (PDF)
- d. Floorplan (PDF)
- e. TWU Comments (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Pending
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
05/02/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request for site plan approval by Jennifer Carrillo, owner, and Kayla Wood with MTG Engineers and Surveyors, agent, on Lots 7 and 8, Block 5, Richmond Subdivision 4th, located on the two lots north of 4414 Galleria Oaks. This property is currently vacant land.

The adjacent zoning is Planned Development-General Retail to the north, south, east, and west. The adjacent land use is vacant land to the north, office to the south, restaurant to the east and apartment complex to the west.

The Future Land Use Map designated this property as "Neighborhood Residential".

The site plan lists the following:

1. Construction of a new 480 sq. ft. building.

City of Texarkana, Texas

2. Façade will be white limestone and brick.
3. Access will be from Arista Boulevard.
4. Six (6) parking spaces including one (1) handicapped space.
5. A 5'X5' ft. circular sign affixed to the side of the coffee shop building. No CEVMS.
6. A screened dumpster site to the east of the parking lot.

See attached Texarkana Water Utility comments.

Staff recommends for approval of the site plan.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval with stipulations.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 2, 2022

NOTICE OF PUBLIC HEARINGS

Public hearings will be held by the Planning and Zoning Commission and the City Council of the City of Texarkana, Texas at the below stated date and time. The Public Hearings will be held in the Council Chambers, Municipal Building, 220 Texas Blvd, (3rd & Texas) Texarkana, Texas to consider a proposed change in zoning classification as indicated below. According to the Tax Records, you are the owner of property within the area of the proposed change or within 200 feet of that property. THIS IS NOT A SUMMONS TO APPEAR AT THE HEARINGS. If you care to attend, you will be given an opportunity to be heard. If additional information is desired, please contact the Planning Department at (903) 798-3535.

PLANNING & ZONING COMMISSION: Hearing Date: MONDAY, MAY 2, 2022 Hearing Time: 6:00 pm

CITY COUNCIL: Hearing Date: MONDAY, JULY 11, 2022 Hearing Time: 6:00 pm

- ♦ If they desire, persons concerned with the proposed change can present a letter in opposition to or in favor of the proposed change. If a written protest in opposition to a proposed change contains the signatures of persons who own twenty (20) percent or more of the land within 200 feet of the proposed change, a 3/4th vote of the City Council will be required. In order to be considered, the letter must be received and filed before or at the Planning and Zoning Commission Meeting. (The letter can be emailed to lpuckett@txkusa.org).



OWNER: Jennifer Carrillo, owner, and Kayla Wood with MTG Engineers and Surveyors, agent

OWNER'S ADDRESS: 10 Timberlane Street, Texarkana, Texas 75501

LOCATION OF REZONING: 3500 Block of Arista Blvd. (two lots north of 4414 Galleria Oaks Drive, Texarkana, Texas 75501

PROPOSED CHANGE: Amendment to PD-02-13(GR) for site plan approval for the construction of drive thru coffee shop

LEGAL DESCRIPTION: Lots 7 and 8, Block 5, Richmond Subdivision 4th

CASE NUMBER: Amendment-PD-02-13(GR) DATE MAILED: April 20, 2022

Attachment: Hearing Notice and Application (3688 : Amendment to PD-02-13 (GR) two lots north 4414 Galleria Oaks)



SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945
www.ci.texarkana.tx.us.org

Receipt No. 22-00834

Case PD-02-13(GR)

Date 4-13-22

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property.

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: 7 and 8 Block: 5 Addition: _____
(Or see attached metes and bounds legal description)

Project location/address: PID: 19737001000 and 19737000900.

At the intersection of Galleria Oaks Dr and Arista Boulevard, adjacent lots to 4414 Galleria Oaks Dr.

Present zoning: General retail Proposed zoning (if applicable) _____

Proposed use: Coffee Shop

Total square footage of proposed building: 480 SF Number of parking spaces 6

Number of required parking spaces per Ordinance 2 Handicapped spaces 1

Material of building façade White limestone and Brick

SIGNAGE: Type (i.e. monument, pole) Circular sign affixed to the side of the coffee building

Size 5' x 5'

Material to be used for structure (if monument style) _____

Kayla R. Wood

Attorney or Agent Signature

5930 Summerhill Rd

Address

Texarkana, Texas 75503

City, State, Zip

(903)-838-8533

Home Phone & Cell Phone

Kwood@mtgengineers.com

Email Address

Jennifer Cannell

Property Owner Signature

10 Timberlane St

Address

Texarkana, Tx 75501

City, State, Zip

903-624-0192

Home Phone & Cell Phone

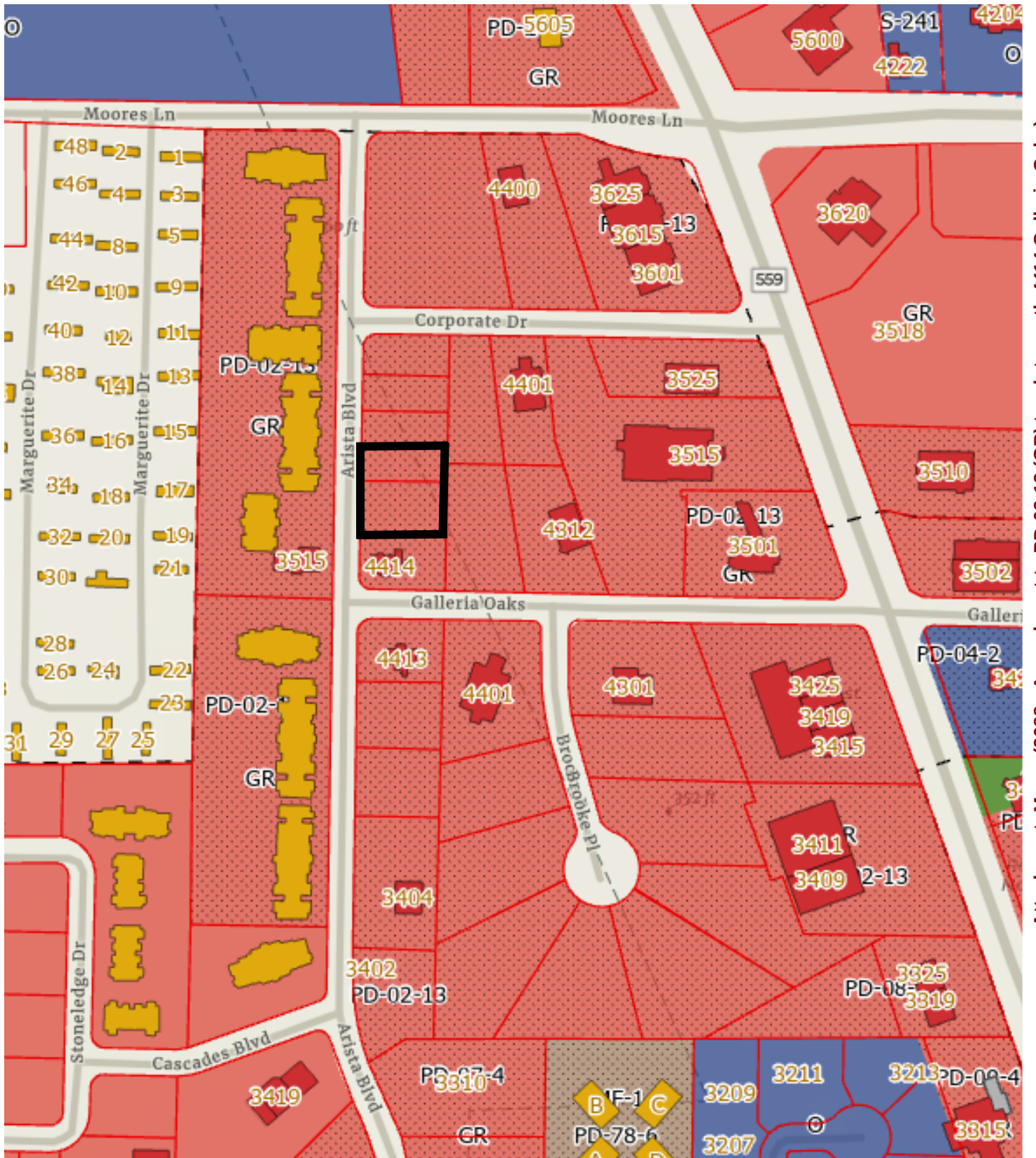
jenbradley07@gmail.com

Email Address

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

Amendment to PD-02-13 (GR)

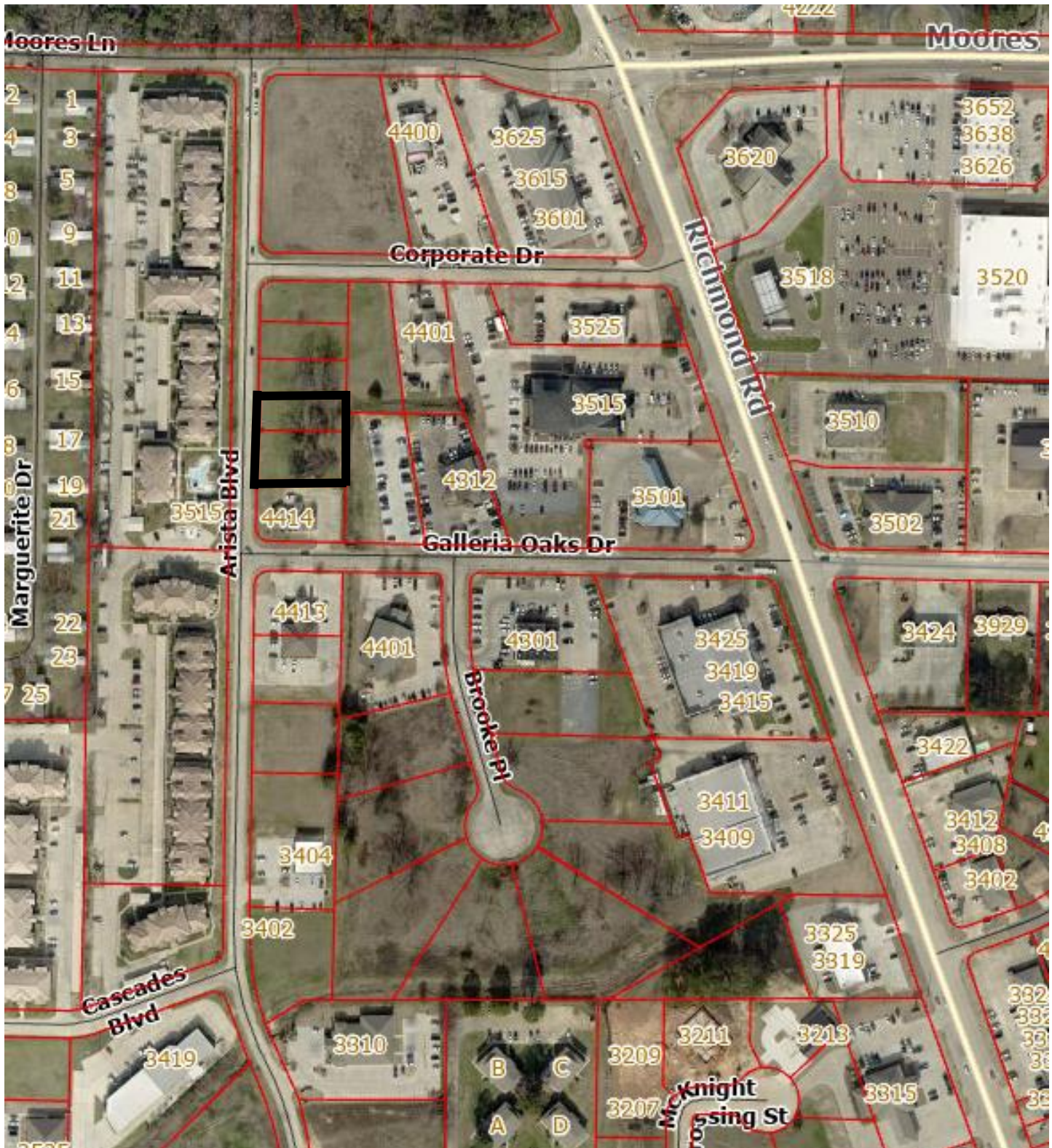
Two parcels North of 4414 Galleria Oaks



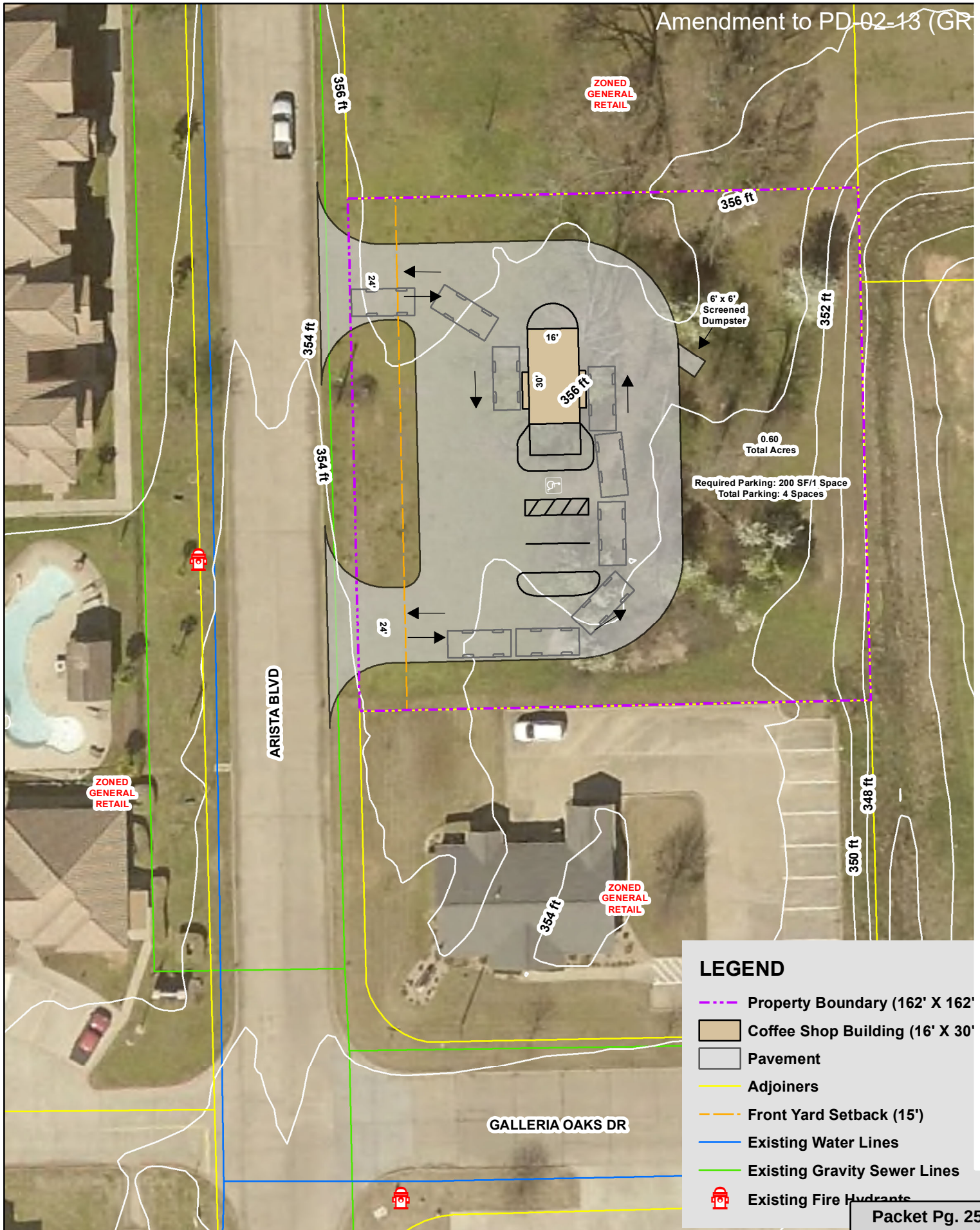
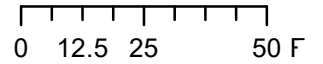
Attachment: Maps (3688 : Amendment to PD-02-13 (GR) two lots north 4414 Galleria Oaks)

Amendment to PD-02-13 (GR)

Two parcels North of 4414 Galleria Oaks



Attachment: Maps (3688 : Amendment to PD-02-13 (GR) two lots north 4414 Galleria Oaks)



LEGEND

- Property Boundary (162' X 162')
- Coffee Shop Building (16' X 30')
- Pavement
- Adjoiners
- Front Yard Setback (15')
- Existing Water Lines
- Existing Gravity Sewer Lines
- Existing Fire Hydrants





Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone
711 TTY
(903) 791-0724 Fax

MEMORANDUM

To: Dusty Henslee, P.E., CFM, CSI, Director of Public Works, City of Texarkana, Texas

From: Kenneth L. Icenhower, P.E., Design Engineer TWU

Date: April 18, 2022

Re: **4414 Galleria Oaks – The Roasted Goat - site plan**

The Utility staff has reviewed the above site plan and has the following comments:

1. There is an existing eight-inch (8") water main on the west side of Arista Blvd and an existing eight-inch (8") sanitary sewer main on the east side of Arista Blvd.
2. The Utility reserves the right to request additional utility easements upon review of the plans.
3. The size and location of the existing water and sanitary sewer mains have not been field verified. The developer's representative shall field verify the size and location of the existing utilities before designing or constructing extensions of the system

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

cc: Gary L. Smith, P.E., Interim Executive Director TWU
Bill Moss, GIS Technician, TWU
Teresa Akard, Engineering Technician II, TWU

Attachment: TWU Comments (3688 : Amendment to PD-02-13 (GR) two lots north 4414 Galleria Oaks)

City of Texarkana, Texas

Version:

Update Date: 4/28/2022 2:08 PM

Summary Sheet

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator
Subject: Amendment to PD-86-3 (General Retail) for site plan approval on Lot 1 Richmond-Kwik Addition, located at 2903 Richmond Road. Paige Hobbs with American Goods, LLC, owners, and Greg Ryden, Ryden Architecture, agent.

Meeting Date: 5/2/2022

Attachments

- a. Hearing Notice and Application (PDF)
- b. Maps (PDF)
- c. Site Plan (PDF)
- d. Elevations (PDF)
- e. Signs (PDF)
- f. Photo renderings (PDF)
- g. TWU Comments (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Pending
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
05/02/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

This is a request for site plan approval by Paige Hobbs with American Goods, LLC, owners, and Greg Ryden with Ryden Architecture, agent, on Lot 1 Richmond-Kwik Addition, located at 2903 Richmond Road. This property was previously a Pizza Hut. The intended use is a Popeyes.

The adjacent zoning is Planned Development General Retail to the north, and east, General Retail to the south, and Multiple Family-1 to the west. The adjacent land use is oil changer to the north, a restaurant to the east, office to the south and apartments to the west.

The Future Land Use Map designates this property as "Neighborhood Retail".

The site plan consists of the following:

City of Texarkana, Texas

1. The construction of a 3,060 sq. ft. building.
2. The façade will be EIFS and Faux brick.
3. The access driveway will be off Richmond Road. Any driveway improvements on Richmond will need TXDOT approval.
4. 56 parking spaces including 3 handicapped spaces. Each parking space must be a minimum of 180 sq. ft. (9'x20' or 10'x18').
5. An 8'X4' monument style sign. Wall signs as indicated on the elevations.
6. Screened dumpster located in the southwest corner of the parking lot.
7. Drive thru located at the south side of building.
8. If the most remote part of the building is more than 150 feet "travel distance" away from the centerline of the roadway it will require a fire lane that is big enough for a 40 ft WB.
9. If the most remote part of the building is more than 400 feet "travel distance" away from the nearest fire hydrant one will have to be added.

See attached Texarkana Water Departments comments.

The applicant should also be aware that if this site plan approval item is approved, all other applicable city code/ordinance requirements must be met including but not limited to building codes, setbacks, subdivision, fire, parking, drainage, water and sewer prior to the issuance of building permits.

All notification and application requirements have been met to consider this request.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends for approval of this request with stipulations.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 2, 2022



SITE PLAN APPROVAL APPLICATION

CITY OF TEXARKANA TEXAS

Po Box 1967
220 Texas Blvd
Texarkana TX 75504
(903) 798-3945

www.ci.texarkana.tx.us.org

Receipt No. 22-00843 Case Amendment PD-86-3 Date 4-13-22

To: The Planning and Zoning Commission
City of Texarkana Texas

Please consider this as my application for site plan approval in the City of Texarkana, Texas for the following described property:

LEGAL DESCRIPTION OF PROPERTY. (Lot and block numbers if in a subdivision; metes and bounds description if any portion of property does not have assigned lot and block numbers)

Lot: X 1 Block: _____ Addition: ~~McKinnis~~ Richmond-Kwik Additio
(Or see attached metes and bounds legal description)

Project location/address:

2903 RICHMOND RD., TEXARKANA, TX 75503

Present zoning: GR Proposed zoning (if applicable) _____

Proposed use: RESTAURANT WITH DRIVE-THRU

Total square footage of proposed building: 3,060 Number of parking spaces 56

Number of required parking spaces per Ordinance 12 Handicapped spaces 3

Material of building façade EIPS & FAUX BRICK

SIGNAGE: Type (i.e. monument, pole) MONUMENT

Size 10'-0" TALL X 4'-0" WIDE X 1'-3" DEEP

Material to be used for structure (if monument style) BRICK BASE, ALUMINUM BODY

Attorney or Agent Signature _____

909 Wakefield Drive

Address _____

Houston TX 77018

City, State, Zip _____

713.993.6690

Home Phone & Cell Phone _____

gragor@rydenarchitecture.com

Email Address _____

Property Owner Signature _____

11111 Richmond Ave., Suite 120

Address _____

Houston, TX 77082

City, State, Zip _____

281-753-1840

Home Phone & Cell Phone _____

paige_american@yahoo.com

Email Address _____

BY SIGNING THIS APPLICATION, YOU HAVE AGREED TO ALLOW THE CITY TO PLACE A SIGN ON YOUR PROPERTY

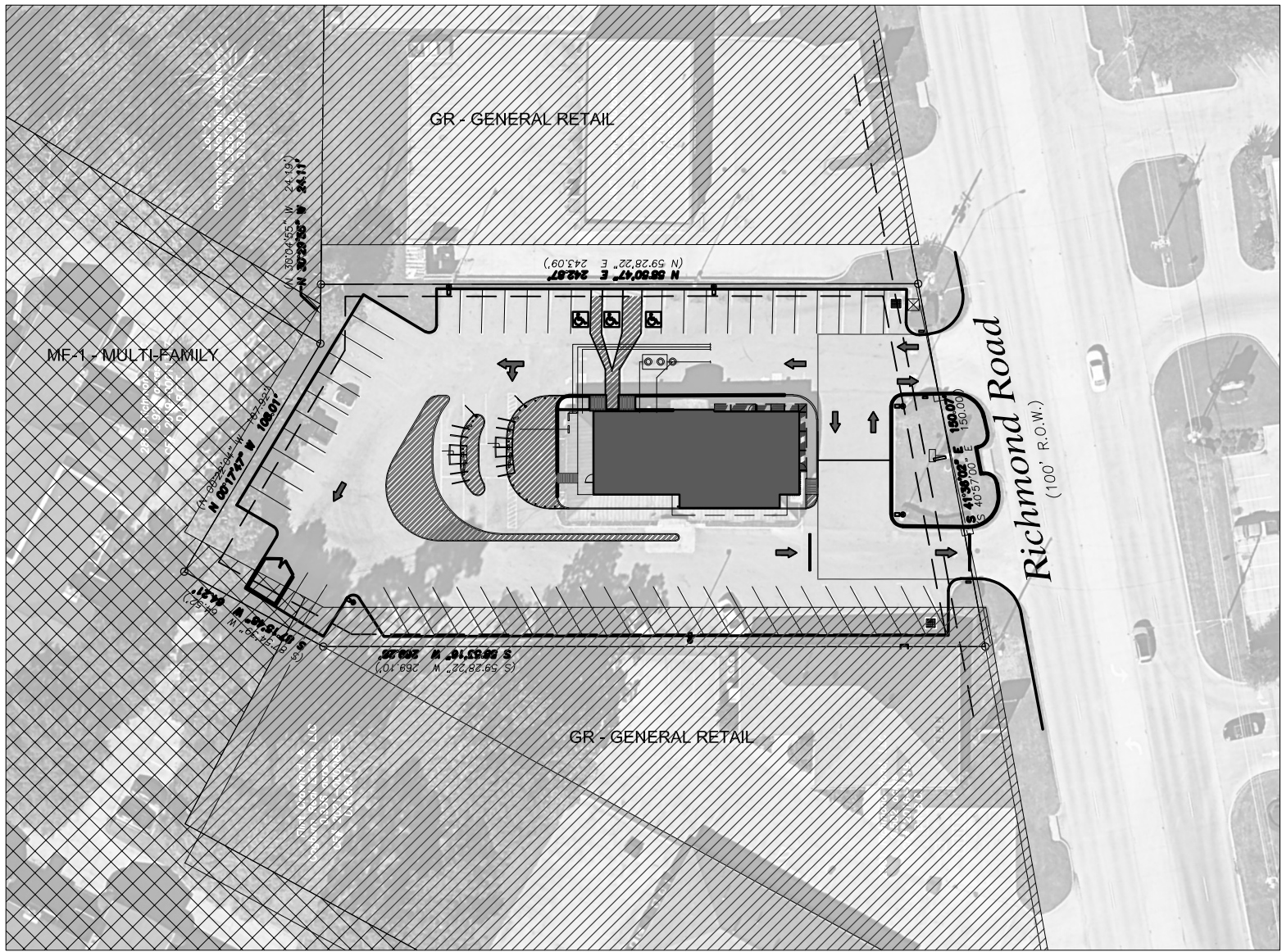
Attachment: Hearing Notice and Application (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond Rd)

Attachment: Maps (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond Rd)

2903 Richmond Road



Attachment: Maps (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond Rd)



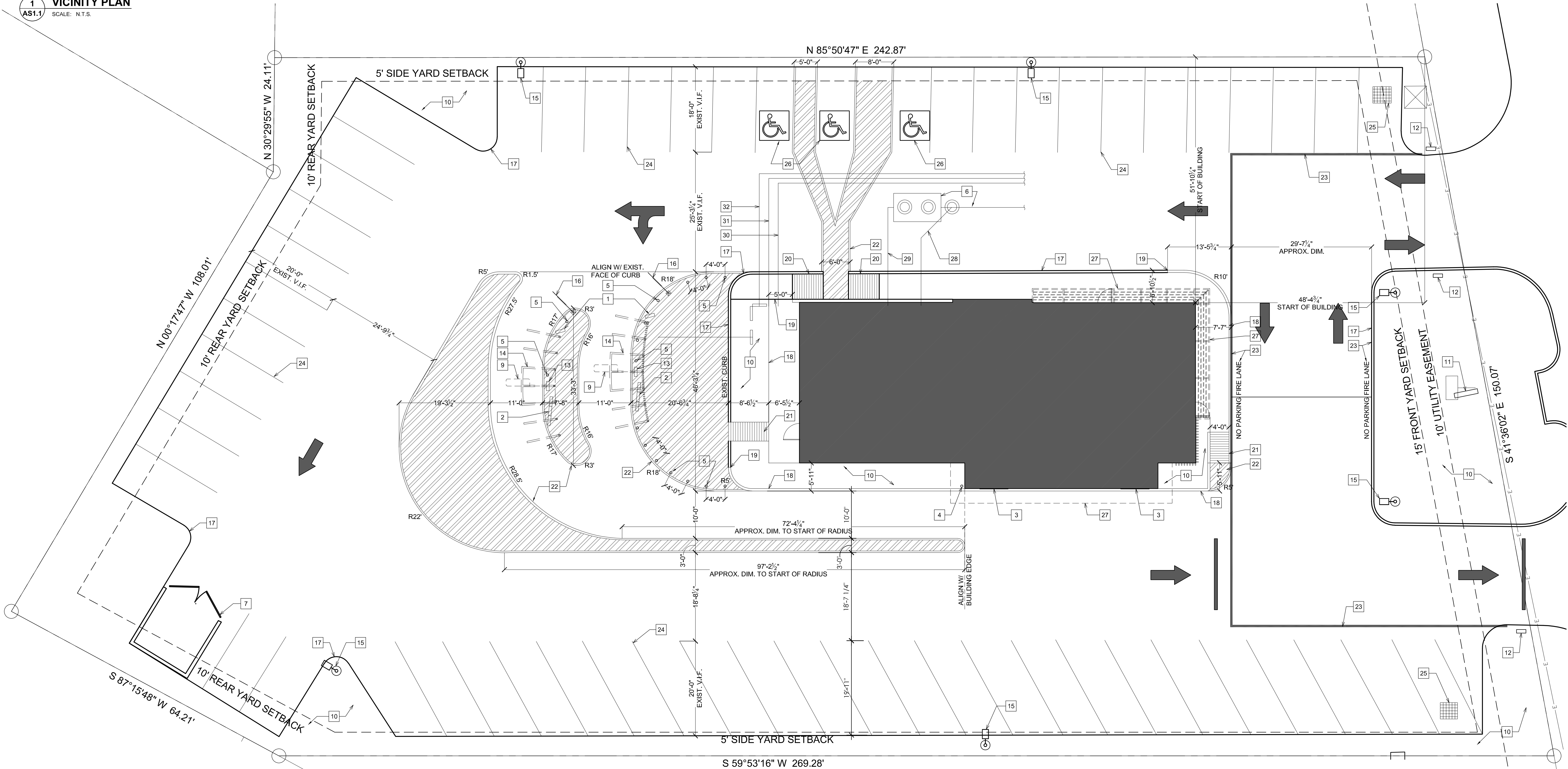
1 VICINITY PLAN
SCALE: N.T.S.

NOTES

- 1 DT DIGITAL PRE-SELL MENU BOARD LOCATION. SEE DETAILS ON SHEET AS2.1.
- 2 DT DIGITAL MENU BOARD LOCATION. SEE DETAILS ON SHEET AS2.1.
- 3 POPEYE'S RESTAURANT DRIVE THRU WINDOW LOCATION. SEE FLOOR PLAN ON SHEET A1 FOR ADDITIONAL INFORMATION.
- 4 6" STEEL PIPE BOLLARD AT PULL-UP WINDOW. SEE DETAIL 13/AS2.3, FLOOR PLAN A1 AND EXTERIOR ELEVATIONS A5 SERIES.
- 5 TYPICAL 6" STEEL PIPE BOLLARD, RE: AS2.2 & 2.3
- 6 APPROXIMATE LOCATION OF NEW GREASE INTERCEPTOR & SANITARY LINE BELOW SITE PAVING. . COORDINATE LOCATION OF SAMPLE WELL WITH PLUMBING DRAWINGS AND LOCATION OF NEW SANITARY LINE WITH EXISTING LINE.
- 7 EXISTING DUMPSTER ENCLOSURE TO BE RE-USED. PAINT EXISTING CMU WHITE, PROVIDE NEW CEDAR WOOD GATE, AND RE-USE EXISTING GATE HARDWARE.
- 8 N/A
- 9 VEHICLE LOOP. REFER TO DETAIL 5/AS2.1.
- 10 LANDSCAPED AREA; REFER TO SHEET LP1.0.
- 11 PYLON / MONUMENT SIGN / SIGN BASE.RE-USE EXISTING ELECTRICAL WIRING FROM EXISTING SIGNAGE AS POSSIBLE. REFER TO POPEYES SIGNAGE PACKAGE FOR DETAILS.
- 12 APPROX. LOCATION OF SITE SIGNAGE. RE-USE ELECTRICAL WIRING FROM EXISTING SIGNAGE AS POSSIBLE. REFER TO DETAIL 9/AS2.1 AND SIGNAGE PACKAGE BY POPEYES FOR DETAILS.
- 13 SPEAKER POST. REFER TO DETAILS ON SHEET AS2.1.
- 14 DRIVE THRU CANOPY. REFER TO POPEYES SIGNAGE DRAWINGS.
- 15 EXISTING SITE POLE LIGHTING TO BE CLEANED AND RE-FINISHED. METAL POLE AND HEAD TO BE PAINTED BLACK; HEAD LAMP OR ENTIRE HEAD TO BE REPLACED.
- 16 HEIGHT RESTRICTION BAR. REFER TO POPEYES SIGNAGE DRAWINGS.
- 17 EXISTING PEDESTRIAN WALKWAY AND CURB TO REMAIN. CLEAN TO MATCH APPEARANCE OF NEW CURBS AND WALKWAYS TO THE FULLEST EXTENT POSSIBLE.
- 18 PROVIDE NEW PEDESTRIAN WALKWAY AND CURB; REFER TO SHEET SD2.4 FOR DETAILS.
- 19 TIE NEW WALKWAY AND/OR CURB INTO EXISTING; REFER TO SHEET SD2.4 FOR DETAILS.
- 20 ADJUST EXISTING CURB TO MEET CURRENT T.A.S. REGULATIONS AS REQUIRED.
- 21 PROVIDE NEW RAMP WITH MAXIMUM SLOPE OF 1:12. RE: SHEET SD2.3
- 22 PROVIDE NEW 4" WHITE STRIPING
- 23 RE-STRIPE EXISTING FIRE-LANE STRIPING IN ACCORDANCE WITH CITY STANDARDS/REQUIREMENTS
- 24 EXISTING PARKING SPACES TO BE RE-STRIPED; 4" WIDE WHITE PAINT.
- 25 EXISTING STORM GRATE TO REMAIN
- 26 PROVIDE NEW PAINTED ACCESSIBLE PARKING SYMBOL IN WHITE
- 27 LINE OF BUILDING CANOPY
- 28 APPROXIMATE LOCATION OF EXISTING SANITARY SEWER LINE
- 29 APPROXIMATE LOCATION OF EXISTING GREASE LINE
- 30 APPROXIMATE LOCATION OF EXISTING UNDERGROUND GAS LINE
- 31 APPROXIMATE LOCATION OF EXISTING UNDERGROUND ELECTRICAL LINE
- 32 APPROXIMATE LOCATION OF EXISTING INCOMING DOMESTIC WATER LINE

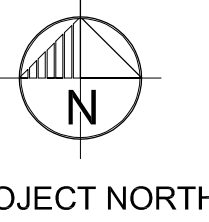
GENERAL NOTE

ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION OF TRADE. REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER PRIOR TO PERFORMING THE ANTICIPATED WORK.



1 SITE PLAN
SCALE: 3/32" = 1'-0"

ISSUE TABLE		
No.	Date (mm/dd/yyyy)	Description
01	03-25-2022	OWNER REVIEW
REVISIONS		
No.	Date	Description
DRAWINGS REVISED AS PER DESIGN BULLETIN		
No.	Date	Description



NOT FOR REGULATORY APPROVAL, PERMITTING, or CONSTRUCTION
GREG RYDEN, ARCHITECT
DATE: 03/25/2022

RYDEN ARCHITECTURE
commercial | residential | planning
909 Wakefield Drive
Houston, Texas 77018
713.993.6690 (o)
contact: Greg Ryden, AIA
greg@rydenarchitecture.com



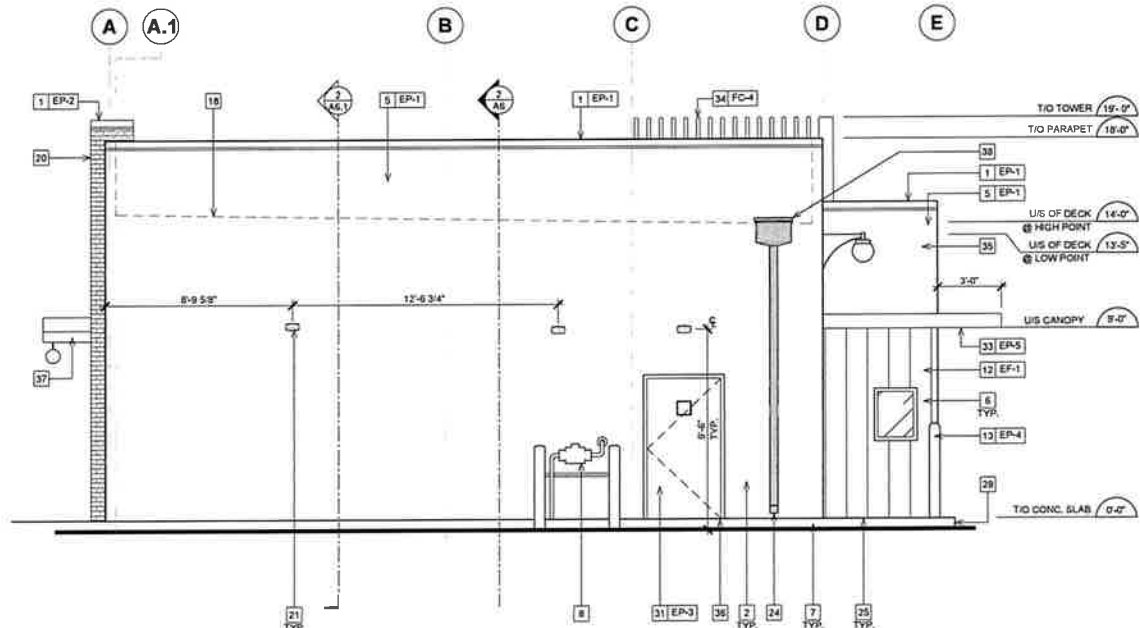
POPEYES

Store Type US 2136 PROTOTYPE
2136-22

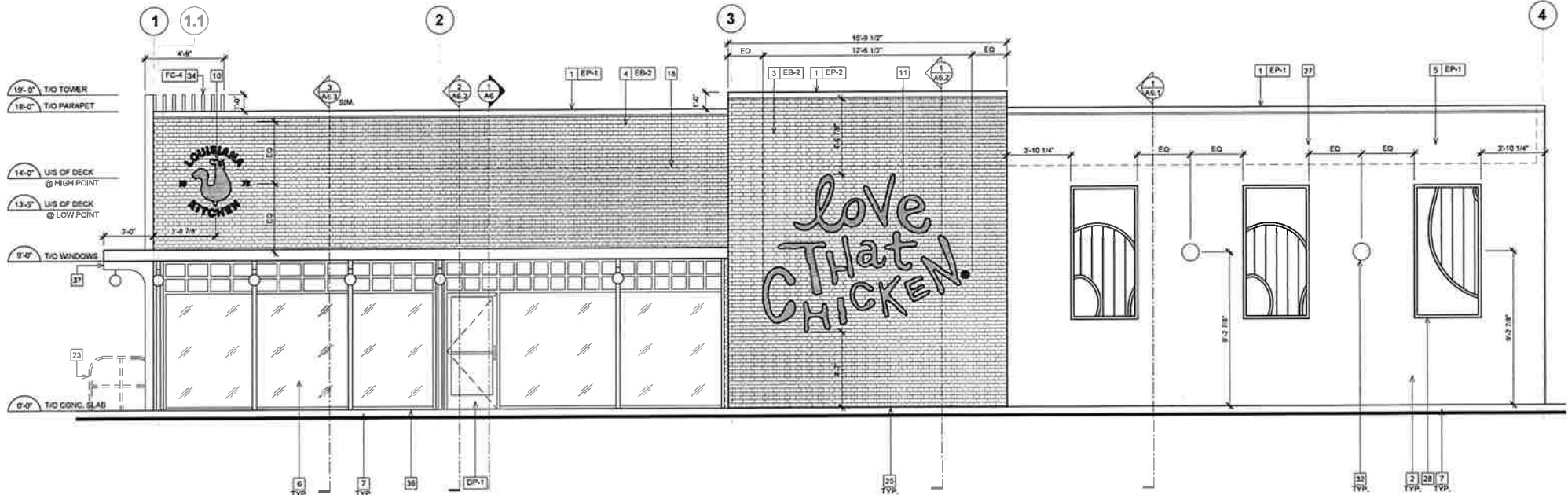
Location
POPEYE'S TEXARKANA
2903 RICHMOND RD.
TEXARKANA, TX, 75503

Drawing Title
ARCHITECTURAL SITE PLAN

Drawn	SR	Checked	GR
Scale	AS NOTED	Date	MAR 2022
Project No.	21027	Drawing No.	AS1.1



1 REAR ELEVATION
SCALE: 1/4"=1'-0"



2 SIDE ELEVATION
SCALE: 1/4"=1'-0"

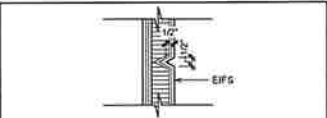
EXTERIOR FINISH SCHEDULE						
TAG	MATERIAL	APPLICATION	MANUFACTURER	PRODUCT	COLOR/FINISH	DIMENSION
FINISH MATERIALS						
EF-1	EXTERIOR WOOD SIDING	FRONT FACADE EXTERIOR WALLS	NICHIHA FIBER CEMENT	VINTAGE WOOD AWP 3030	CEDAR	17-7/8" H x 119 5/16" L
EB-1	BRICK (CLIP-SYSTEM)	ACCENT TOWER BRICK	NICHIHA FIBER CEMENT	VINTAGE BRICK	ALEXANDRIA BLUFF	7 3/8" x 2 1/2" x 3/4"
EB-2	BRICK (CLIP-SYSTEM)	FRONT OF BUILDING	NICHIHA FIBER CEMENT	VINTAGE BRICK	WHITE WASH (PAINT P-1)	7 3/8" x 2 1/2" x 3/4"
EXTERIOR PAINTS						
EP-1	EXTERIOR PAINT	MAIN WALL SURFACE	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (M55)	OC-125 MOONLIGHT WHITE	
EP-2	EXTERIOR PAINT	BRICK TOWER PARAPET	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (M55)	2105-20 ROOT BEER CANDY	
EP-3	EXTERIOR PAINT	DUMPSTER WALLS, REAR DOOR	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (M55)	HC-170 STONINGTON GREY	
EP-4	METAL PAINT	BOLLARDS	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	SAFETY YELLOW	
EP-5	METAL PAINT	DUMPSTER GATES AND PYLON POLE	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	FACTORY FINISH BLACK	
EP-6	ANTI-GRAFFITI COAT	EXTERIOR WALLS	BENJAMIN MOORE	ALIPHATIC ACRYLIC URETHANE - GLOSS	V500-00 CLEAR	
EP-7	EXTERIOR PAINT	EXTERIOR WALLS	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (M55)	"TEAL" COLOR CODE TBD	
EXTERIOR MISC.						
C-1	CANOPY - METAL	DRIVE-THRU CANOPY	BY MANUFACTURER	BY MANUFACTURER	ORANGE, PANTONE #3564 C	
C-2	CANOPY - METAL	BUILDING CANOPIES	BY MANUFACTURER	BY MANUFACTURER	TEAL, PANTONE #326 C	
S-1	SHUTTERS - POPPY	EXTERIOR WALLS REAR OF BUILDING	BY MANUFACTURER	BY MANUFACTURER	PROVIDED BY MANUFACTURER	
DP-1	DOOR	MAIN ENTRANCE DOORS	BY MANUFACTURER	BY MANUFACTURER	BLACK ANODIZED	

GENERAL NOTES

1. SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES, COLOUR: TO MATCH WINDOW / DOOR FRAMES.
2. THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

- 1 NOTE REFERENCE REFER TO ELEVATION NOTES
- FIN TYPE FINISH TYPE



3 SECTION DETAIL @ TYPICAL
EIFS REVEAL
SCALE: 2 1/2"=1'-0"

EXTERIOR ELEVATION NOTES

1. PRE-FINISHED METAL CAP FLASHING C/W DRIP.
2. G.C. TO PROVIDE AND INSTALL DOUBLE LAYER OF REINFORCING MESH TO MIN. 2'-0" ABOVE GRADE AT ALL EIFS LOCATIONS (TYP.) IN ORDER TO ATTAIN ABUSE RESISTANCE STUCCO SYSTEM.
3. NICHIHA VINTAGEBRICK, COLOR: ALEXANDRIA BLUFF, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
4. NICHIHA VINTAGEBRICK, COLOR: WHITE WASH, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
5. EIFS, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
6. PRE-FINISHED 'BLACK ANODIZED' ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
7. EXPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
8. GAS UTILITY METER.
9. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
10. INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE AND INSTALL 2" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C. TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
11. NON-ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE AND INSTALL 2" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C. TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
12. NICHIHA VINTAGE WOOD, COLOR: CEDAR, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
13. PROVIDE & INSTALL 6" DIAMETER STEEL PIPE BOLLARD TOP AT 4'-0" A.F.F. G.C. TO PAINT 'SAFETY YELLOW'. REFER TO POPEYES MASTER SCHEDULE.
14. DRIVE-THRU WINDOW, REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A11.
15. LOCATION OF HORIZONTAL ROOF DRAIN OUTFLOW, PROVIDE NICKLE-PLATED COWS TONGUE W/ ESCUTCHION PLATE AND INNER SLEEVE.
16. PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTION BOX, G.C. TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE SPLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
17. N/A.
18. DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
19. C/T CABINET AND METER.
20. LINE OF PARAPET WALLS BEYOND.
21. GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
22. WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
23. N/A.
24. PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTION BOX, PROVIDE SPLASH BLOCK AT PAVEMENT, REFER TO PLUMBING DRAWINGS.
25. ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
26. HOSE BIB, G.C. TO PAINT, COLOUR TO MATCH ADJACENT STUCCO COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
27. N/A.
28. DECORATIVE PANELS SUPPLY AND INSTALL BY SIGN COMPANY.
29. G.C. TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 6" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
30. MURAL GRAPHIC SUPPLY AND INSTALL BY SIGN COMPANY.
31. REAR EXIT DOOR, PAINT ACCORDING TO THE EXTERIOR FINISH SCHEDULE.
32. WALL SCONCE SUPPLY AND INSTALL BY SIGN COMPANY.
33. PRE-FABRICATED CANOPIES W/ PRE-WIRED RECESSED LIGHTS ABOVE DRIVE-THRU SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. ALL CANOPIES IN WALL SUPPORT BY G.C. REFER TO STRUCTURAL DRAWINGS.
34. VERTICAL SIMULATED WOOD SLATS, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
35. WALL SCONCE LIGHTING, REFER TO ELECTRICAL SCHEDULE.
36. CONCRETE SIDEWALK (BY G.C.), REFER TO SITE PLAN.
37. HORIZONTAL WOOD GRAIN ENTRANCE CANOPY W/ TEAL VERTICAL & HORIZONTAL SUPPORTS SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. PRE-WIRED LED LIGHT GLOBE FIXTURE.
38. PRE-FINISHED METAL COLLECTION OVERFLOW BOX AND DOWNSPOUT, REFER TO ROOF PLAN.

ISSUE TABLE

No.	Date (mm/dd/yyyy)	Description
01	03-25-2022	OWNER REVIEW

REVISIONS

No.	Date	Description
-----	------	-------------

DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description
-----	------	-------------

PROJECT NORTH

NOT FOR REGULATORY APPROVAL, PERMITTING, or CONSTRUCTION
GREG RYDEN, ARCHITECT
DATE: 03/25/2022

RYDEN ARCHITECTURE
commercial | residential | planning
909 Wakefield Drive
Houston, Texas 77018
713.993.6670 (o)
contact: Greg Ryden, AIA
greg@rydenarchitecture.com

Project

Store Type

US 2136 PROTOTYPE
2136-22

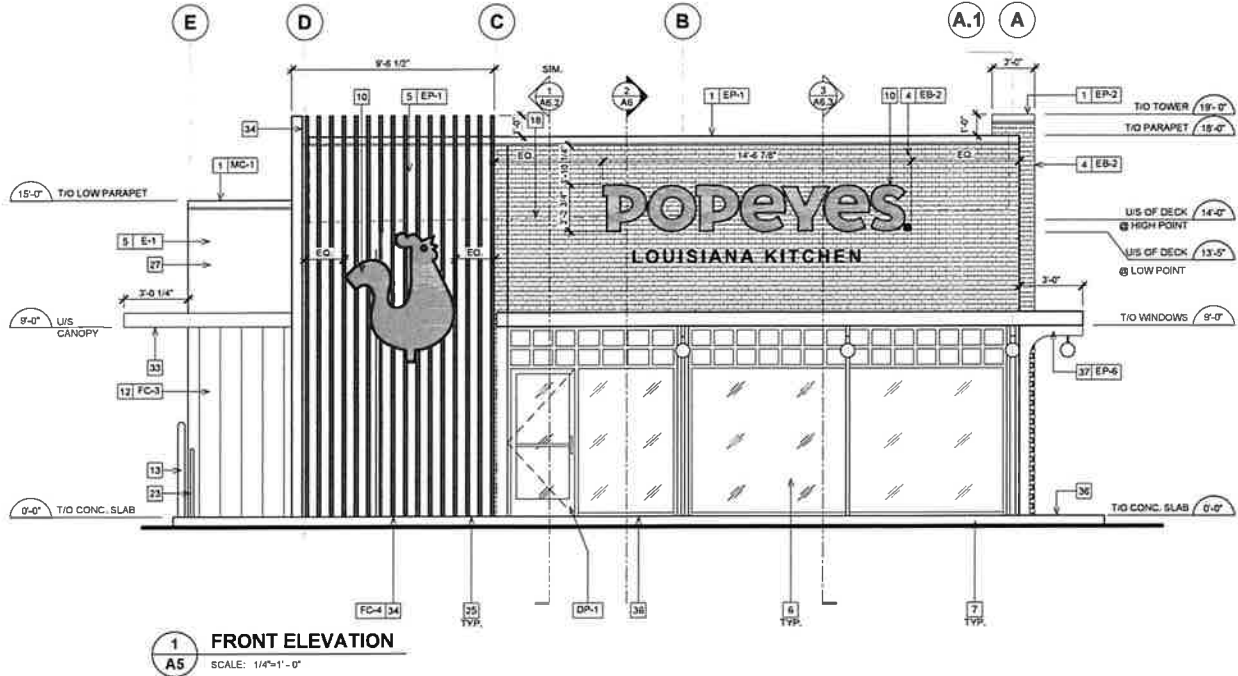
Location

POPEYE'S TEXARKANA
2903 RICHMOND RD.
TEXARKANA, TX, 75503

Drawing Title

EXTERIOR
ELEVATIONS

Drawn	SR	Checked	GR
Scale	AS NOTED	Date	MAR 2022
Project No.	21027	Drawing No.	A5.1



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

2 SIDE (DRIVE-THRU) ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE						
TAG	MATERIAL	APPLICATION	MANUFACTURER	PRODUCT	COLOR/FINISH	DIMENSION
FINISH MATERIALS						
EF-1	EXTERIOR WOOD SIDING	FRONT FACADE EXTERIOR WALLS	NICHIHA FIBER CEMENT	VINTAGE WOOD AWP 3030	CEDAR	17'-7/8" H x 119 5/16" L
EB-1	BRICK (CLIP-SYSTEM)	ACCENT TOWER BRICK	NICHIHA FIBER CEMENT	VINTAGE BRICK	ALEXANDRIA BLUFF	7 3/8" x 2 1/2" x 3/4"
EB-2	BRICK (CLIP-SYSTEM)	FRONT OF BUILDING	NICHIHA FIBER CEMENT	VINTAGE BRICK	WHITE WASH (PAINT P-1)	7 3/8" x 2 1/2" x 3/4"
EXTERIOR PAINTS						
EP-1	EXTERIOR PAINT	MAIN WALL SURFACE	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	OC-125 MOONLIGHT WHITE	
EP-2	EXTERIOR PAINT	BRICK TOWER PARAPET	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	2105-20 ROOT BEER CANDY	
EP-3	EXTERIOR PAINT	DUMPSTER WALLS, REAR DOOR	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	HC-170 STONINGTON GREY	
EP-4	METAL PAINT	BOLLARDS	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	SAFETY YELLOW	
EP-5	METAL PAINT	DUMPSTER GATES AND PYLON POLE	BENJAMIN MOORE	COROTECH HIGH SOLIDS RAPID DRY ENAMEL	FACTORY FINISH BLACK	
EP-6	ANTI-GRAFFITI COAT	EXTERIOR WALLS	BENJAMIN MOORE	ALIPHATIC ACRYLIC URETHANE - GLOSS	V500-00 CLEAR	
EP-7	EXTERIOR PAINT	EXTERIOR WALLS	BENJAMIN MOORE	ULTRA SPEC EXTERIOR LOW LUSTRE (N455)	"TEAL" COLOR CODE TBD	
EXTERIOR MISC.						
C-1	CANOPY - METAL	DRIVE-THRU CANOPY	BY MANUFACTURER	BY MANUFACTURER	ORANGE, PANTONE #3554 C	
C-2	CANOPY - METAL	BUILDING CANOPIES	BY MANUFACTURER	BY MANUFACTURER	TEAL, PANTONE #326 C	
S-1	SHUTTERS - POPPY	EXTERIOR WALLS REAR OF BUILDING	BY MANUFACTURER	BY MANUFACTURER	PROVIDED BY MANUFACTURER	
DP-1	DOOR	MAIN ENTRANCE DOORS	BY MANUFACTURER	BY MANUFACTURER	BLACK ANODIZED	

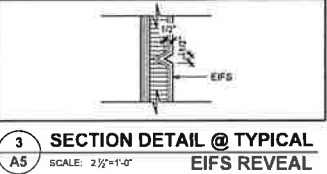
GENERAL NOTES

- SEALANT / CAULKING AROUND DOOR / WINDOW FRAMES. COLOUR TO MATCH WINDOW / DOOR FRAMES.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

SYMBOL LEGEND

1 NOTE REFERENCES REFER TO ELEVATION NOTES

FNR FINISH TYPE



EXTERIOR ELEVATION NOTES

- PRE-FINISHED METAL CAP FLASHING C/W DRIP.
- G.C. TO PROVIDE AND INSTALL DOUBLE LAYER OF REINFORCING MESH TO MIN. 2'-0" ABOVE GRADE AT ALL EIFS LOCATIONS (TYP.) IN ORDER TO ATTAIN ABUSE RESISTANCE STUCCO SYSTEM.
- NICHIHA VINTAGEBRICK, COLOR: ALEXANDRIA BLUFF, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
- NICHIHA VINTAGEBRICK, COLOR: WHITE WASH, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
- EIFS, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
- PRE-FINISHED "BLACK ANODIZED" ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLAZING.
- EXPOSED FOUNDATION TO BE PARGED AND FREE OF IMPERFECTIONS.
- GAS UTILITY METER.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING DETAILS.
- INTERNALLY ILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE AND INSTALL 1" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING AND ALL FINAL ELECTRICAL CONNECTION. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C. TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NONILLUMINATED BUILDING SIGNAGE PROVIDED AND INSTALLED BY SIGN COMPANY. G.C. TO PROVIDE AND INSTALL 1" EXTERIOR GRADE PRESSURE TREATED PLYWOOD BACKING. SIGN MANUFACTURER SHALL OBTAIN STRUCTURALLY SEALED DRAWINGS AND SIGNAGE PERMITS FROM THE CITY BASED ON LOCAL REQUIREMENTS. G.C. SHALL VERIFY ACTUAL LOCATION & SIZE OF SIGNS WITH SIGN MANUFACTURER'S APPROVED DRAWINGS AND COORDINATE LOCATIONS OF BLOCKING AND UTILITIES. G.C. TO COORDINATE WITH SIGN INSTALLER TO USE VHM DRILL BIT WHILE DRILLING FOR ELECTRICAL FEED LINES AND SIGNAGE FASTENERS. ALL ELEMENTS PROVIDED BY SIGNAGE FABRICATOR TO BE REVIEWED AND APPROVED BY POPEYES PRIOR TO PRODUCTION.
- NICHIHA VINTAGE WOOD, COLOR: CEDAR, REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
- PROVIDE & INSTALL 4" DIAMETER STEEL PIPE BOLLARD TOP AT 4'-0" A.F.F. G.C. TO PAINT "SAFETY YELLOW". REFER TO POPEYES MASTER SCHEDULE.
- DRIVE-THRU WINDOW, REFER TO DRIVE-THRU WINDOW SCHEDULE ON SHEET A1.1.
- LOCATION OF HORIZONTAL ROOF DRAIN OUTFLOW. PROVIDE NICKLE-PLATED COWS TONGUE W/ ESCUTCHEON PLATE AND INNER SLEEVE.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. G.C. TO COORDINATE WITH CIVIL ENGINEERS TO CONFIRM IF DOWNSPOUTS ARE FLASHING ON CONCRETE PAD OR TIED TO THE STORM SEWER LINE. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DASHED LINE INDICATES T/O OF ROOF BEHIND PARAPET.
- GT CABINET AND METER.
- LINE OF PARAPET WALLS BEYOND.
- GENERAL PURPOSE EXTERIOR LIGHTING FIXTURES.
- WALK-IN COOLER/FREEZER FINISH TO BE COMPLETED BY MANUFACTURER.
- N/A.
- PRE-FINISHED GALVANIZED STEEL DOWNSPOUT & COLLECTOR BOX. PROVIDE SPLASH BLOCK AT PAVEMENT. REFER TO PLUMBING DRAWINGS.
- ALL BASE FLASHING TO MATCH ADJACENT MATERIAL COLORS.
- HOSE BIB. G.C. TO PAINT. COLOUR TO MATCH ADJACENT STUCCO COORDINATE EXACT LOCATION WITH G.C. REFER TO MECHANICAL DRAWINGS.
- N/A.
- DECORATIVE PANELS SUPPLY AND INSTALL BY SIGN COMPANY.
- G.C. TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 8" FROM FACE OF PANELS AND LENGTH OF CURB IS EXTENT OF FEATURE WALL.
- MURAL GRAPHIC SUPPLY AND INSTALL BY SIGN COMPANY.
- REAR EXT. DOOR. PAINT ACCORDING TO THE EXTERIOR FINISH SCHEDULE.
- WALL SCONCE SUPPLY AND INSTALL BY SIGN COMPANY.
- PRE-FABRICATED CANOPIES W/ PRE-WIRED RECESSED LIGHTS ABOVE DRIVE-THRU SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. ALL CANOPIES IN WALL SUPPORT BY G.C. REFER TO STRUCTURAL DRAWINGS.
- VERTICAL SIMULATED WOOD SLATS. REFER TO POPEYES EXTERIOR FINISH SCHEDULE.
- WALL SCONCE LIGHTING. REFER TO ELECTRICAL SCHEDULE.
- CONCRETE SIDEWALK (BY G.C.). REFER TO SITE PLAN.
- HORIZONTAL WOOD GRAIN ENTRANCE CANOPY W/ TEAL VERTICAL & HORIZONTAL SUPPORTS SUPPLY BY SIGN COMPANY AND INSTALL BY G.C. PRE-WIRED LED LIGHT GLOBE FIXTURE.
- PRE-FINISHED METAL COLLECTION OVERFLOW BOX AND DOWNSPOUT. REFER TO ROOF PLAN.

ISSUE TABLE

No.	Date (mm/dd/yy)	Description
01	03-25-2022	OWNER REVIEW

REVISIONS

No.	Date	Description
-----	------	-------------

DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description
-----	------	-------------

PROJECT NORTH

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION
GREG RYDEN, ARCHITECT
DATE: 03/25/2022

RYDEN ARCHITECTURE
commercial | residential | planning
909 Wakefield Drive
Houston, Texas 77018
713.993.6690 (o)
contact: Greg Ryden, AIA
greg@rydenarchitecture.com

Project

Store Type

US 2136 PROTOTYPE
2136-22

Location

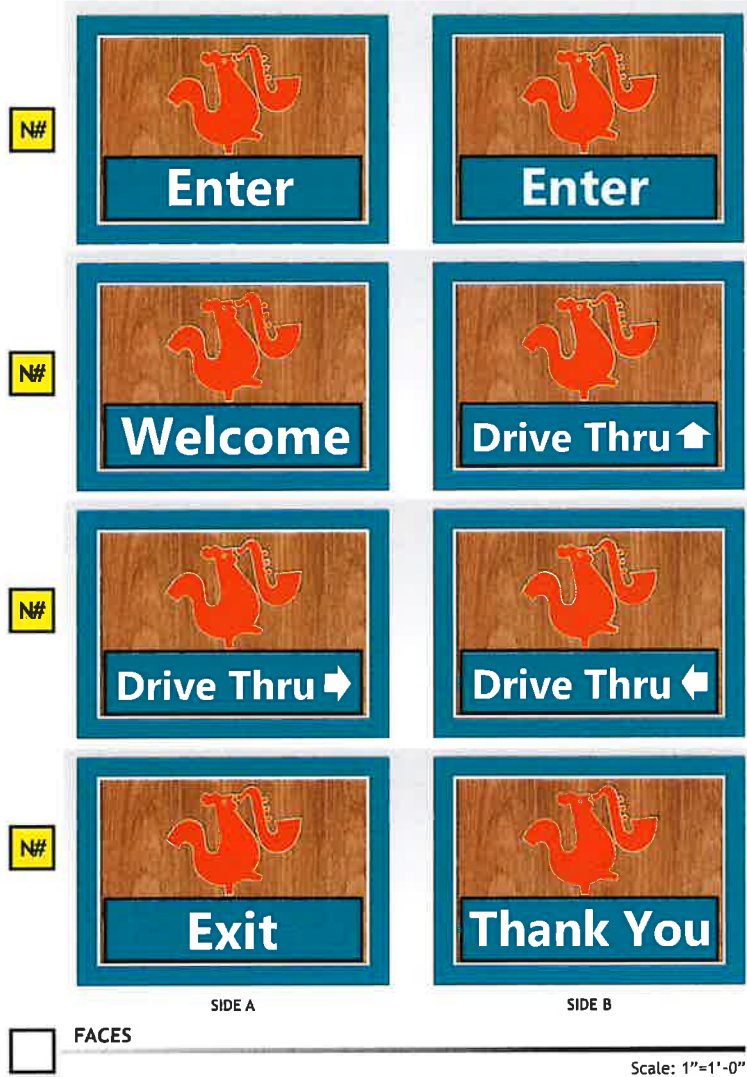
POPEYE'S TEXARKANA
2903 RICHMOND RD.
TEXARKANA, TX, 75503

Drawing Title

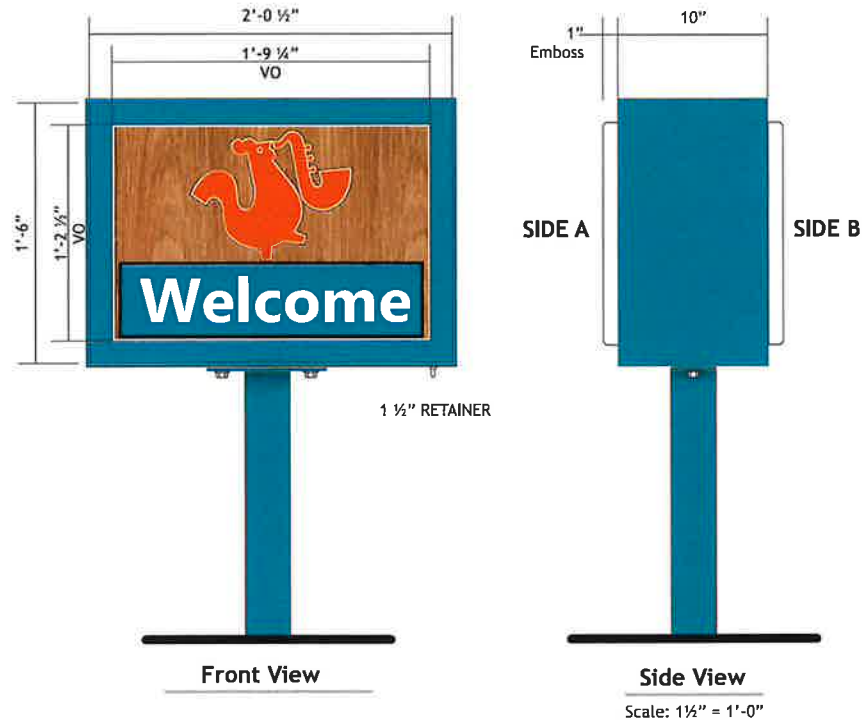
EXTERIOR ELEVATIONS

Drawn	SR	Checked	GR
Scale	AS NOTED	Date	MAR 2022
Project No.	21027	Drawing No.	A5

Amendment to PD-86-3 (GR)



☐ DIRECTIONAL SIGN
SIGN AREA = 3.12 SQ. FT. EA.



COLOR SPECIFICATIONS: DIGITAL PRINT 2ND SURFACE

- PMS 3564C - 33M 3630-84 TANGERINE
- PMS 326C - TEAL
- WOOD GRAIN
- WHITE - BACK SPRAYED PAINT



DRAWING/REVISION NO.:
02-20-0002R5

PAGE NO.:
23 OF 34

CLIENT:
POPEYES

ADDRESS
5707 Blue Lagoon Drive
Miami, FL 33126

Approval Signature

DATE:
02/14/2020

PROJECT MANAGER
Dave P.

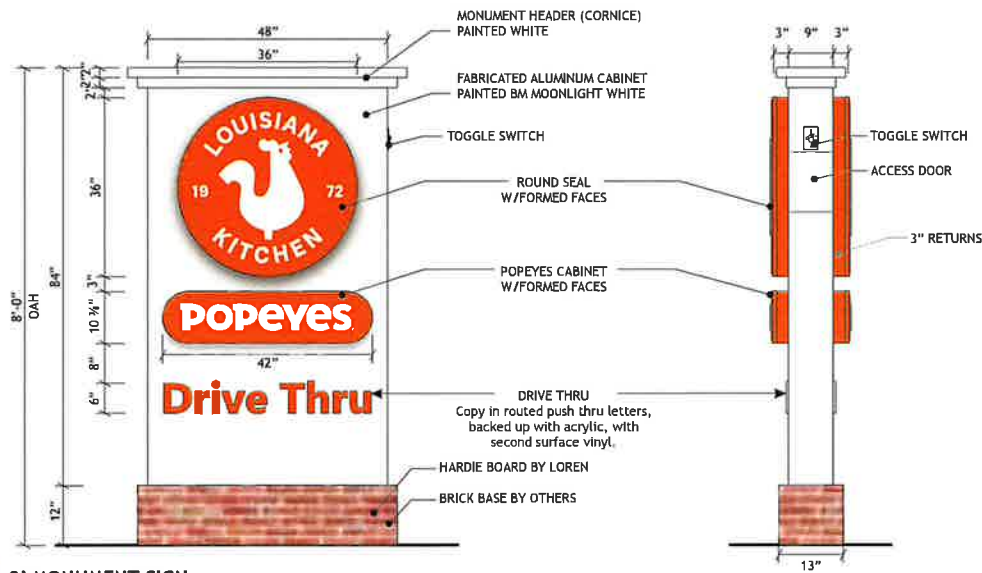
DESIGNER:
EC

REVISION DATE:
03/26/2021

REVISION BY:
Adrian C.

ALL IDEAS, PLANS, AND ELECTRONIC ART INDICATED ON THIS DRAWING ARE COPYRIGHTED AND OWNED BY LOREN ELECTRIC SIGN CORPORATION AND SHALL NOT BE REPRODUCED, USED BY OR DISCLOSED TO ANY PERSONS, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT PERMISSION OF LOREN ELECTRIC SIGN CORPORATION.

Attachment: Signs (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond Rd)

**COLOR SPECIFICATIONS:**

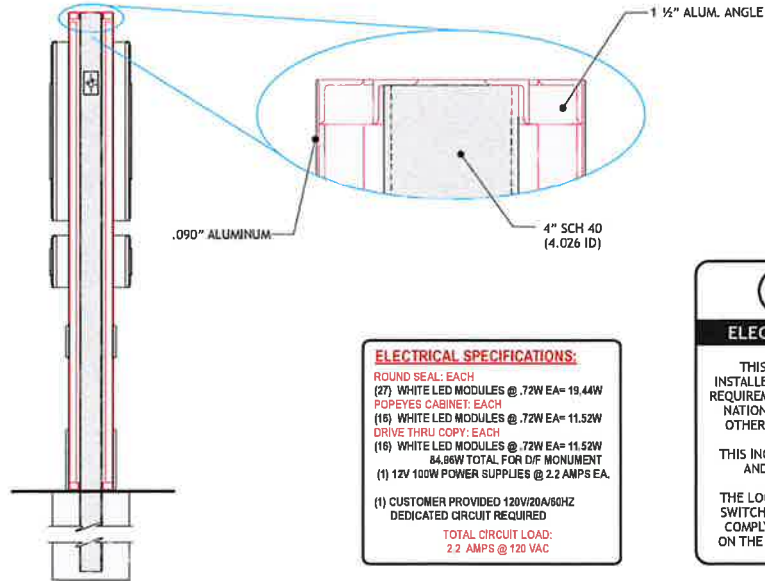
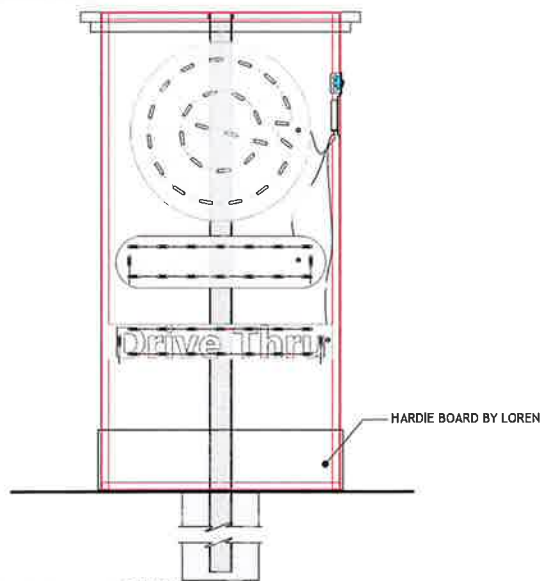
- PMS 3564C - 3M 3630-84 TANGERINE
- WHITE CORNICHE
- EXTERIOR PAINT (EP-2)
BENJAMIN MOORE FACTORY BLACK
- EXTERIOR PAINT (EP-1)
BENJAMIN MOORE MOONLIGHT WHITE
- BRICK (EB-1) BY OTHERS
- BRICK FLAGSAFF

SCOPE OF WORK

- 1.) Manufacture and install type double faced monument as shown.
- 2.) Cabinet to be fabricated w/1 1/2" alum. angle & skinned w/.090" alum.
- 3.) Illuminated Round seal & POPEYES cabinet to be mounted to monument.
- 4.) Pushed thru "Drive Thru" letters on routed out aluminum cabinet face.



N# 8' MONUMENT SIGN
SIGN AREA: 32 SQ. FT.

**ELECTRICAL SPECIFICATIONS:**

- ROUND SEAL: EACH
(27) WHITE LED MODULES @ .72W EA= 19.44W
POPEYES CABINET: EACH
(15) WHITE LED MODULES @ .72W EA= 11.52W
DRIVE THRU COPY: EACH
(16) WHITE LED MODULES @ .72W EA= 11.52W
84.86W TOTAL FOR D/F MONUMENT
(1) 12V 100W POWER SUPPLIES @ 2.2 AMPS EA.
- (1) CUSTOMER PROVIDED 120V/20A/50HZ
DEDICATED CIRCUIT REQUIRED
- TOTAL CIRCUIT LOAD:
2.2 AMPS @ 120 VAC

**ELECTRIC SIGN SECTION**

THIS SIGN IS INTENDED TO BE
INSTALLED IN ACCORDANCE WITH THE
REQUIREMENTS OF ARTICLE 600 OF THE
NATIONAL ELECTRICAL CODE & ALL
OTHER APPLICABLE LOCAL CODES.

THIS INCLUDES PROPER GROUNDING
AND BONDING OF THE SIGN.

THE LOCATION OF THE DISCONNECT
SWITCH AFTER INSTALLATION SHALL
COMPLY WITH ARTICLE 600.6(A)(1)
ON THE NATIONAL ELECTRICAL CODE



LOREN INDUSTRIES

12226 Coast Drive
Whittier, CA 90601
Tel: (562) 946-7545
Fax: (562) 949-5707
St. Lic.: 455415

Los Angeles, CA



DRAWING/REVISION NO.:
02-20-0002R5

PAGE NO.:
27 of 34

CLIENT:
POPEYES

ADDRESS
5707 Blue Lagoon Drive
Miami, FL 33126

Approval Signature

DATE:
02/14/2020

PROJECT MANAGER
Dave P.

DESIGNER:
EC

REVISION DATE:
03/26/2021

REVISION BY:
Adrian C.

ALL IDEAS, PLANS, AND ELECTRONIC
ART INDICATED ON THIS DRAWING ARE
COPYRIGHTED AND OWNED BY LOREN
ELECTRIC SIGN CORPORATION AND
SHALL NOT BE REPRODUCED, USED
BY OR DISCLOSED TO ANY PERSONS,
FIRM OR CORPORATION FOR ANY
PURPOSE WHATSOEVER WITHOUT
PERMISSION OF LOREN ELECTRIC
SIGN CORPORATION.

MONUMENT SIGN DETAIL

Scale: 1/2" = 1'-0"

Amendment to PD-86-3 (GR)



Attachment: Photo renderings (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond

Amendment to PD-86-3 (GR)



Attachment: Photo renderings (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond

Amendment to PD-86-3 (GR)



Attachment: Photo renderings (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond



Texarkana Water Utilities

801 Wood Street, P.O. Box 2008, Texarkana, Texas 75504

(903) 798-3800 Phone
711 TTY
(903) 791-0724 Fax

MEMORANDUM

To: Dusty Henslee, P.E., CFM, CSI, Director of Public Works, City of Texarkana, Texas

From: Kenneth L. Icenhower, P.E., Design Engineer TWU

Date: April 18, 2022

Re: **2903 Richmond Road – Popeye’s Chicken - site plan**

The Utility staff has reviewed the above site plan and has the following comments:

1. There is an existing twelve-inch (12”) water main on the west side of Richmond Road and an existing eight-inch (8”) sanitary sewer main on the west side of Richmond Road.
2. The Utility reserves the right to request additional utility easements upon review of the plans.
3. The size and location of the existing water and sanitary sewer mains have not been field verified. The developer’s representative shall field verify the size and location of the existing utilities before designing or constructing extensions of the system

If you should have any questions or require further information, please do not hesitate to contact me. Thank you.

cc: Gary L. Smith, P.E., Interim Executive Director TWU
Bill Moss, GIS Technician, TWU
Teresa Akard, Engineering Technician II, TWU

Attachment: TWU Comments (3689 : Amendment to PD-86-3 (GR) site plan approval at 2903 Richmond Rd)

City of Texarkana, Texas

Summary Sheet

Version:

Update Date: 4/28/2022 2:13 PM

Lead Department: Planning & Zoning Commission **Action Officer:** Laura Puckett, Administrative Coordinator

Subject: Consider approval of the Planning and Zoning Commission meeting minutes from April 4, 2022.

Meeting Date: 5/2/2022

Attachments

a. 4-04-22 P&Z Minutes (PDF)

Staff Coordination

Building Code Administration	Mashell Daniel	Reviewer	Pending
Planning & Zoning Commission	Laura Puckett	Meeting	Pending
05/02/2022 6:00 PM			

Updates/History of Briefing:

NOT APPLICABLE

Executive Summary and Background Information:

See attached minutes.

Potential Options:

Approve or deny

Fiscal Implications:

NOT APPLICABLE

Staff Recommendation:

Staff recommends approval of the April 4, 2022 Planning and Zoning Commission meeting minutes.

Advisory Board/Committee Review:

Planning and Zoning Commission

Board/Committee Recommendation:

NOT APPLICABLE

Advisory Board/Committee Meeting Date and Minutes:

May 2, 2022

**MINUTES
REGULAR MEETING
PLANNING AND ZONING COMMISSION
COUNCIL CHAMBERS
2ND FLOOR, TEXAS MUNICIPAL BUILDING
220 TEXAS BOULEVARD, TEXARKANA, TEXAS
MONDAY, APRIL 4, 2022 AT 6:00 P.M.**

The Planning and Zoning Commission of the City of Texarkana, Texas met in a regular session, Monday, April 4, 2022 at 6:00 p.m. with the following members present:

ATTENDING:

Ms. Dianna Kinsey, Vice Chairperson
Mr. Tom Coleman
Mr. James Larkins
Mr. George Merrill
Mr. Brad Bailey

ABSENT

Dr. Wanda Northam
Mr. Gene Joyce III, Chairman
Mr. Casey Boyette

ALSO ATTENDING:

Ms. Mashell Daniel, Executive Director of Inspections, Code and Zoning
Ms. Laura Puckett, Zoning Administrator

Ms. Kinsey called the meeting to order at 6:00 p.m.

Consider approval of final and preliminary plat for Lot 3, Block 1, Classic Auto Park East 2nd Addition. Greg Orr, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

This item was withdrawn.

Consider approval of the Nantze Subdivision, Lots 49, 50, 57, 58, 59, and part of lots 51 and 60, Belmont Subdivision, located at the intersection off North Bishop Road and Greenview Drive. DDR Development, owners, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

Caleb Whatley with MTG Engineers and Surveyors appeared and stated that DDR Development would like to combine multiple lots into one property for possible expansion of Nantze Electric.

Mr. Merrill made a motion to approve this request. Mr. Coleman seconded the motion to approve this request. Members voted unanimously to approve the request.

RECOMMENDED FOR APPROVAL

Consider approval of the final and preliminary plat for Smith Addition, Lot 4, Shilling Estate, and part of Lot 2 Shilling Estate 2nd, located off the west end of Shilling Road. Morgan Smith, owner, and Jeffrey Wood, MTG Engineers and Surveyors, agent.

Caleb Whatley with MTG Engineers and Surveyors appeared and stated that the property owner would like to replat making their property larger and possibly building a shop.

Mr. Coleman made a motion to approve this request. Mr. Larkins seconded the motion to approve this request. Members voted unanimously to approve the request.

RECOMMENDED FOR APPROVAL

S-750: Specific Use Permit to allow the location of a HUD code manufactured home on Lots 1, and 2, Block 2, Grandview Addition, located at the southwest corner Findley Street and McBride Street. Curtis Murray, owner.

Curtis Murray appeared and stated that he would like a Specific Use Permit to locate a home on the property. Mr. Coleman asked if the city would make him clean up this property and remove the illegal fencing. City Staff advised that Code Enforcement would work with Mr. Murray to get his property cleaned up. Mr. Coleman would like to stipulate that the fence is removed.

Mr. Coleman made a motion to approve this request with stipulation. Mr. Larkins seconded the motion to approve this request with stipulation. Members voted unanimously to approve the request with stipulation.

RECOMMENDED FOR APPROVAL

S-751: Specific Use Permit to allow the location of a daycare on an approximate 2.58-acre tract of land (being Tract 3), Chancellor Beach HRS, A-731, located at 3700 North Robison Road. Christine Boulton, owner.

Christine Boulton appeared and stated that she would like a daycare at the existing church and a Specific Use Permit was required for this zoning.

Mr. Coleman made a motion to approve this request. Mr. Merrill seconded the motion to approve this request. Members voted unanimously to approve the request.

RECOMMENDED FOR APPROVAL

Amendment to PD-20-6 for site plan approval on Lot 1, Block 1, Richmond-Moores Subdivision, located at 5605 Richmond Rd. Kirk Patton, PHRMG Developers, owners, and Marcus Foran, Agent.

Kirk Patton appeared and stated that he and partners owned this property and that it is zoned properly for the sale to new owners, Braums Restaurant and Grocery. Mr. Travis Crafton and Helen Pacione were present to answer any questions regarding the site plan.

The site plan consists of the following:

1. The construction of a 6,092 sq. ft. building.
2. The façade will be stone and brick.
3. The access driveway will be off Richmond Road and Moores Lane. Any driveway improvements on Richmond will need TXDOT approval.
4. 84 parking spaces and 4 handicapped spaces. Each parking space must be a minimum of 180 sq. ft. (9'x20' or 10'x18').
5. A 35' pole sign. No Electronic messaging will be allowed. Wall signs as indicated on the elevations.
6. Screened dumpster located in the northwest corner of the parking lot.
7. Drive thru located at the south side of building.

Fire Department comments as follows:

8. If the most remote part of the building is more than 150 feet away "travel distance" from the centerline of a public road the property must have a fire lane and adequate turning radius for 40' WB.
9. If the most remote part of the building is more than 400 feet away "travel distance" from a fire hydrant a new hydrant will have to be added.
10. If the building is being sprinkled the FDC must be no more than 100 feet away "travel distance" from the nearest fire hydrant.

Mr. Merrill made a motion to approve this request with stipulations. Mr. Larkins seconded the motion to approve this request with stipulations. Members voted unanimously to approve the request with stipulations.

RECOMMENDED FOR APPROVAL

Z-22-03 (Remove from Table): rezoning Lots 11 and 12, Block 5, Watts Addition, located at 1324 Bowie Street from Two Family-1 to Commercial. Thomas Turner, owner and Jerry Johnson, agent.

Mr. Larkins made a motion to remove item from table. Mr. Coleman seconded the motion to removed item from table. Members voted unanimously to remove item from table.

Jerry Johnson appeared and stated that she would like to have a food truck park at this location and that she would meet all city requirements before opening. That she would like to see this area revitalized and bring people into the community.

Mr. Larkins made a motion to approve this request. Mr. Coleman seconded the motion to approve this request. Members voted unanimously to approve the request.

RECOMMENDED FOR APPROVAL

STAFF UPDATES

No staff update.

MINUTES

Consider approval of the March 7, 2022 Planning and Zoning Commission meeting minutes.

Mr. Coleman made a motion to approve the minutes. Mr. Larkins seconded the motion. All members voted unanimously to approve the minutes.

MINUTES RECOMMENDED FOR APPROVAL

There being no further business, the meeting was adjourned.

Dianna Patterson Kinsey, Vice Chairperson

Laura Puckett, Zoning Administrator